



City of Auburn, Maine

Planning & Permitting

Eric Cousens, Director

60 Court Street | Auburn, Maine 04210

www.auburnmaine.gov | 207.333.6601

## Development Review Application

PROJECT NAME: Riverside Drive Duplex Housing

PROPOSED DEVELOPMENT ADDRESS: 105 Riverside Drive, Auburn, Maine 04210

PARCEL ID #: Tax Map Lot - 221-140

REVIEW TYPE:      Site Plan -                       Site Plan Amendment -   
                                 Subdivision -                       Subdivision Amendment -

PROJECT DESCRIPTION: 105 Riverside drive existing car service garage to be demolished and renovated into apartment housing with three buildings of duplex units.

### CONTACT INFORMATION:

Applicant

Name: Jason Cooper

Address: 284 Ferry Road

City / State: Lisbon, ME

Zip Code: 04250

Work #:

Cell #: (207) 837-0927

Fax #:

Home #:

Email: changeofseasons2008@yahoo.com

Property Owner

Name: Jason Cooper

Address: 284 Ferry Road

City / State: Lisbon, ME

Zip Code: 04250

Work #:

Cell #: (207) 837-0927

Fax #:

Home #:

Email: changeofseasons2008@yahoo.com

Project Representative

Name: Travis Nadeau, LEED AP BD+C

Address: Two Great Falls Plaza

City / State: Auburn, Maine

Zip Code: 04210

Work #: (207) 784-2941

Cell #: (207) 740-7603

Fax #:

Home #:

Email: tnadeau@platzassociates.com

Other professional representatives for the project (surveyors, engineers, etc.),

Name: Nicholas Racioppi PLS#2621

Address: 41 Campus Drive, Suite 301

City / State: New Gloucester, ME

Zip Code: 04260

Work #: 207-926-5111

Cell #:

Fax #:

Home #:

Email: nick@terradyconsultants.com

# PROJECT DATA

The following information is required where applicable, in order complete the application

## IMPERVIOUS SURFACE AREA/RATIO

Existing Total Impervious Area	<u>7,806</u>	sq. ft.
Proposed Total Paved Area	<u>3,110</u>	sq. ft.
Proposed Total Impervious Area	<u>5,410</u>	sq. ft.
Proposed Impervious Net Change	<u>-2,300</u>	sq. ft.
Impervious surface ratio existing	<u>77%</u>	% of lot area
Impervious surface ratio proposed	<u>49%</u>	% of lot area

## BUILDING AREA/LOT COVERAGE

Existing Building Footprint	<u>2,396</u>	sq. ft.
Proposed Building Footprint	<u>2,808</u>	sq. ft.
Proposed Building Footprint Net change	<u>412</u>	sq. ft.
Existing Total Building Floor Area	<u>2,396</u>	sq. ft.
Proposed Total Building Floor Area	<u>5,616</u>	sq. ft.
Proposed Building Floor Area Net Change	<u>+3,220</u>	sq. ft.
New Building	<u>Yes</u>	(yes or no)
Building Area/Lot coverage existing	<u>24%</u>	% of lot area
Building Area/Lot coverage proposed	<u>55%</u>	% of lot area

## ZONING

Existing	<u>(T-4.2) traditional downtown neighborhood</u>
Proposed, if applicable	<u>(T-4.2) traditional downtown neighborhood</u>

## LAND USE

Existing	<u>23-Commercial</u>
Proposed	<u>Duplex Residential</u>

## RESIDENTIAL, IF APPLICABLE

Existing Number of Residential Units	<u>0</u>
Proposed Number of Residential Units	<u>6</u>
Subdivision, Proposed Number of Lots	<u>N/A</u>

## PARKING SPACES

Existing Number of Parking Spaces	<u>13</u>
Proposed Number of Parking Spaces	<u>4</u>
Number of Handicapped Parking Spaces	<u>2</u>
Proposed Total Parking Spaces	<u>6</u>

**ESTIMATED COST OF PROJECT:** \$850,000.00

## DELEGATED REVIEW AUTHORITY CHECKLIST

### SITE LOCATION OF DEVELOPMENT AND STORMWATER MANAGEMENT

Existing Impervious Area	<u>7,826</u>	sq. ft.
Proposed Disturbed Area	<u>10,150</u>	sq. ft.
Proposed Impervious Area	<u>6,025</u>	sq. ft.

1. If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with MDEP.
2. If the proposed impervious area is greater than one acre including any impervious area created since 11/16/05, then the applicant shall apply for a MDEP Stormwater Management Permit, Chapter 500, with the City.
3. If total impervious area (including structures, pavement, etc) is greater than 3 acres since 1971 but less than 7 acres, then the applicant shall apply for a Site Location of Development Permit with the City. If more than 7 acres then the application shall be made to MDEP unless determined otherwise.
4. If the development is a subdivision of more than 20 acres but less than 100 acres then the applicant shall apply for a Site Location of Development Permit with the City. If more than 100 acres then the application shall be made to MDEP unless determined otherwise.

### TRAFFIC ESTIMATE

Total traffic estimated in the peak hour-existing 8.15 passenger car equivalents (PCE)

Total traffic estimated in the peak hour-proposed 3.36 passenger car equivalents (PCE)

If the proposed increase in traffic exceeds 100 one-way trips in the peak hour then a traffic movement permit will be required.

## Zoning Summary

1. Property is located in the T-4.2 Traditional Downtown Neighborhood zoning district.
2. Parcel Area: .24 acres / 10,499 square feet(sf).

<b>Regulations</b>	<u>Required/Allowed</u>	<u>Provided</u>
Min Lot Area	<u>10,000</u>	<u>/ 10,499 existing</u>
Impervious Area	<u>70% of lot max</u>	<u>/ 6,718 sf = 64%</u>
Min. Open Space	<u>10%</u>	<u>/ 35%</u>
Min Front Yard	<u>5 feet</u>	<u>/ 6'-0"</u>
Min Rear Yard	<u>10 feet</u>	<u>/ 10'-0"</u>
Min Side Yard	<u>5 feet</u>	<u>/ 5'-2"</u>
Max. Building Height	<u>45 feet</u>	<u>/ 35'-0" (2 Story)</u>
Use Designation	<u>Multi – Family Residential (Residential)</u>	
Parking Requirement	<u>1per unit</u>	<u>/ 6 spaces provided.</u>
Overlay zoning districts (if any):	<u>Shoreland Zoning- local condition overlay</u>	

## **DEVELOPMENT REVIEW APPLICATION SUBMISSION**

**Submissions shall include fifteen (15) complete packets containing the following materials:**

1. 5 Full size plans and 10 smaller (no larger than 11" x 17") plans containing the information found in the attached sample plan checklist.
2. Application form that is completed and signed by the property owner or designated representative.  
(NOTE: All applications will be reviewed by staff and any incomplete application will not be accepted until all deficiencies are corrected.
3. Cover letter stating the nature of the project.
4. All written submittals including evidence of right, title and interest.
5. Copy of the checklist completed for the proposal listing the material contained in the submitted application.

**Refer to the application checklist for a detailed list of submittal requirements.**

**To view the City of Auburn Zoning Ordinance, go to:**

[www.auburnmaine.gov](http://www.auburnmaine.gov) under Government, select Departments of the City, then Planning, Permitting & Code. On the left menu, choose Subdivisions, Land Use, Zoning Ordinance. Or click [HERE](#).



For additional information on Site Plan Review, please click [HERE](#) or scan code:



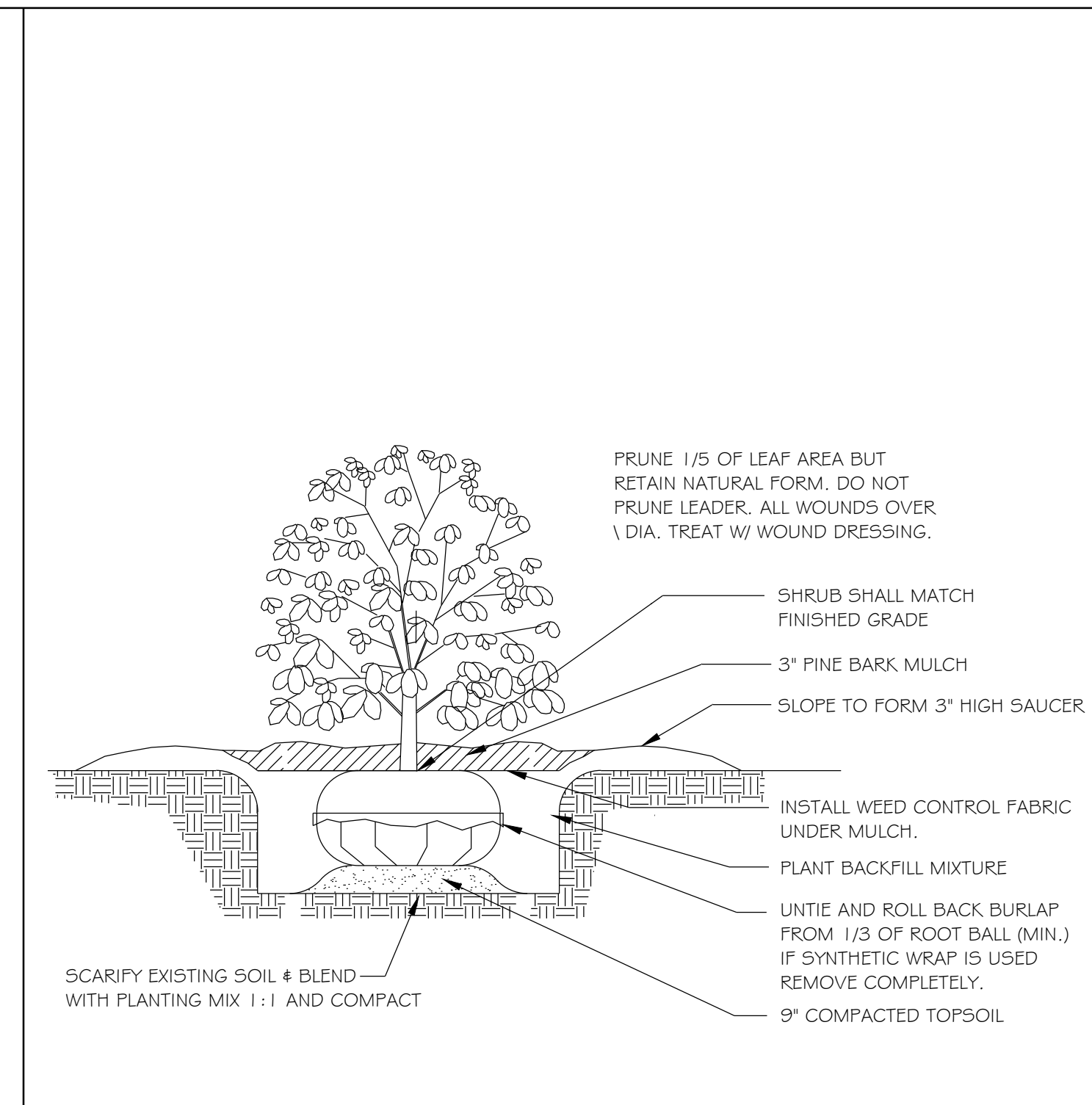
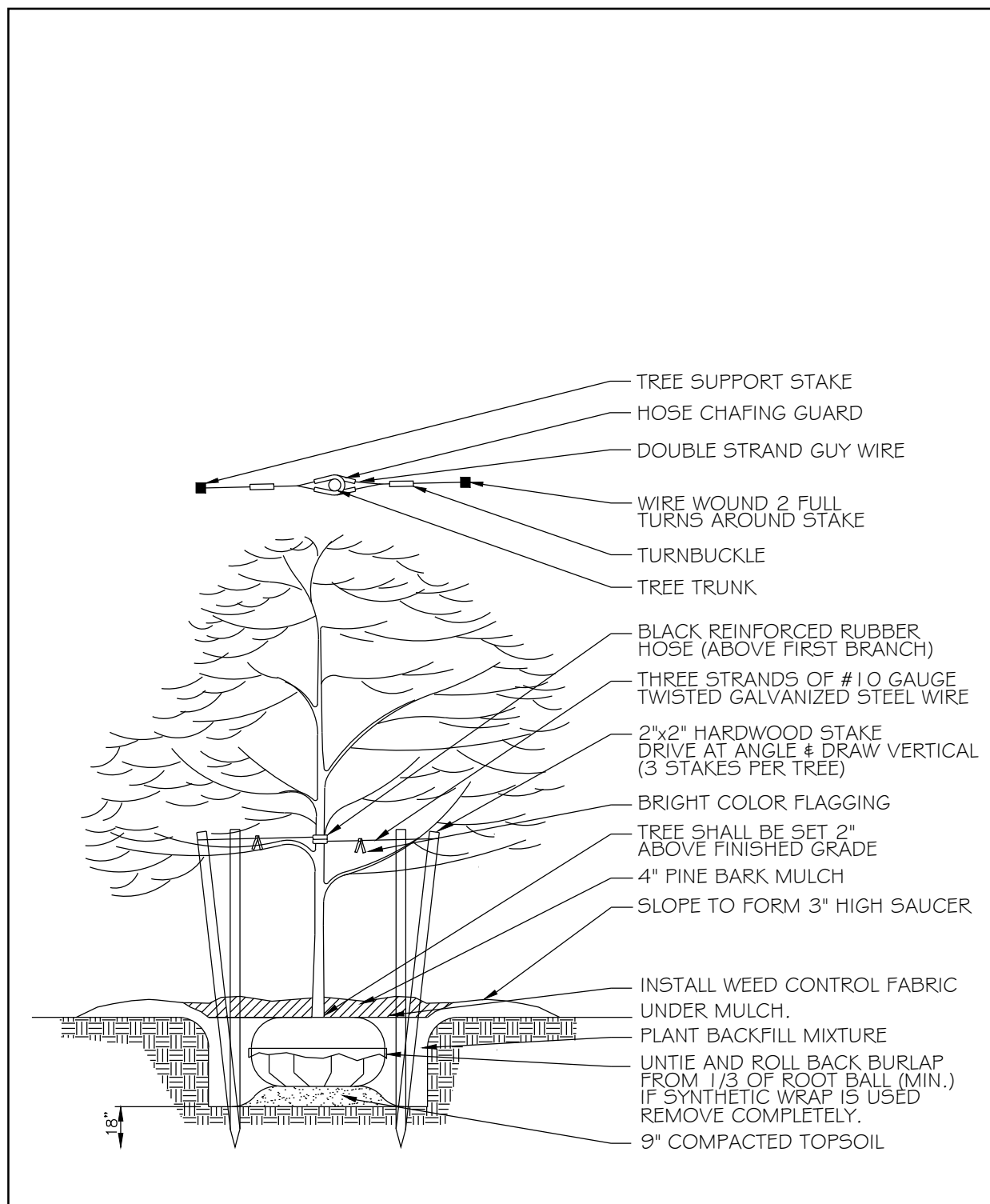
For additional information on Special Exceptions, please click [HERE](#) or scan code:

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, I certify that the City's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

**This application is for development review only; a Performance Guarantee, Inspection Fee, Building Permit Application and other associated fees and permits will be required prior to construction.**

<b>Signature of Applicant:</b> 	<b>Date:</b> 07/03/24
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1. STREET TREES (SEE DETAIL 4/C103 FOR ADDTL INFO.):

KEY	BOTANICAL NAME	COMMON NAME	SIZE	#	NOTES
LS	LIQUIDAMBAR STYRACIFLUA	AMERICAN SWEETGUM	2.5"	2	
QP	QUERCUS PALUSTRIS 'GREEN PILLAR'	FASTIGIATE OAK	2.5"	1	

2. SHRUBS (SEE DETAIL 3/C103 FOR ADDTL INFO.):

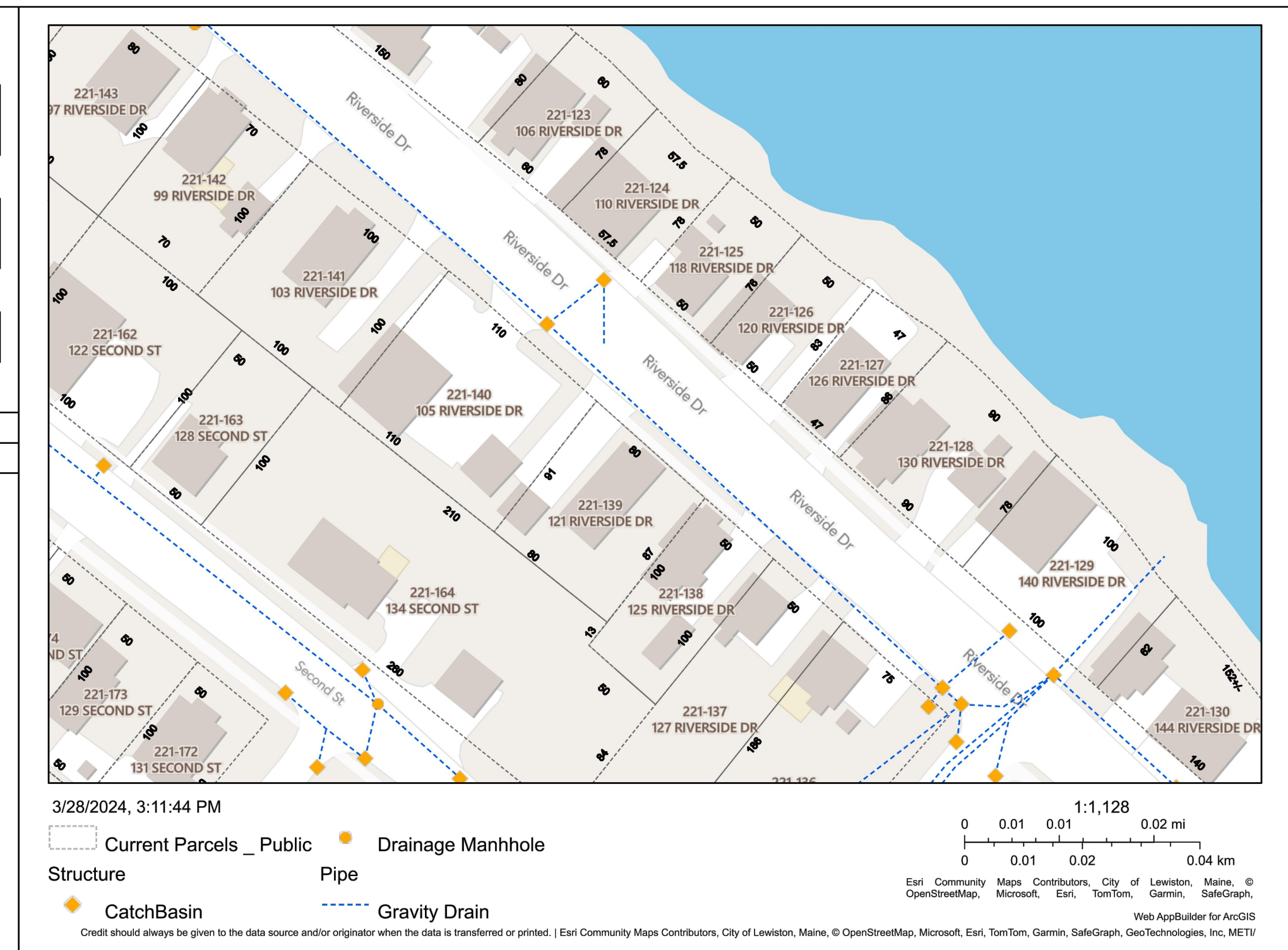
KEY	BOTANICAL NAME	COMMON NAME	SIZE	#	NOTES
BL	VACCINIUM	BLUBERRY	24\"/>		

3. PERENNIAL/ANNUALS (SEE DETAIL 2/C103 FOR ADDTL INFO.):

KEY	BOTANICAL NAME	COMMON NAME	SIZE	#	NOTES
VA	VIOLA ETAIN	ETAIN PANSY	1 GAL	40	5 @ EA. BED

5 PLANTING SCHEDULE  
C100 SCALE: N.T.S.

NOTE: REMOVE ALL ROPES, WRAPS, CONTAINERS, TAGS, ETC.

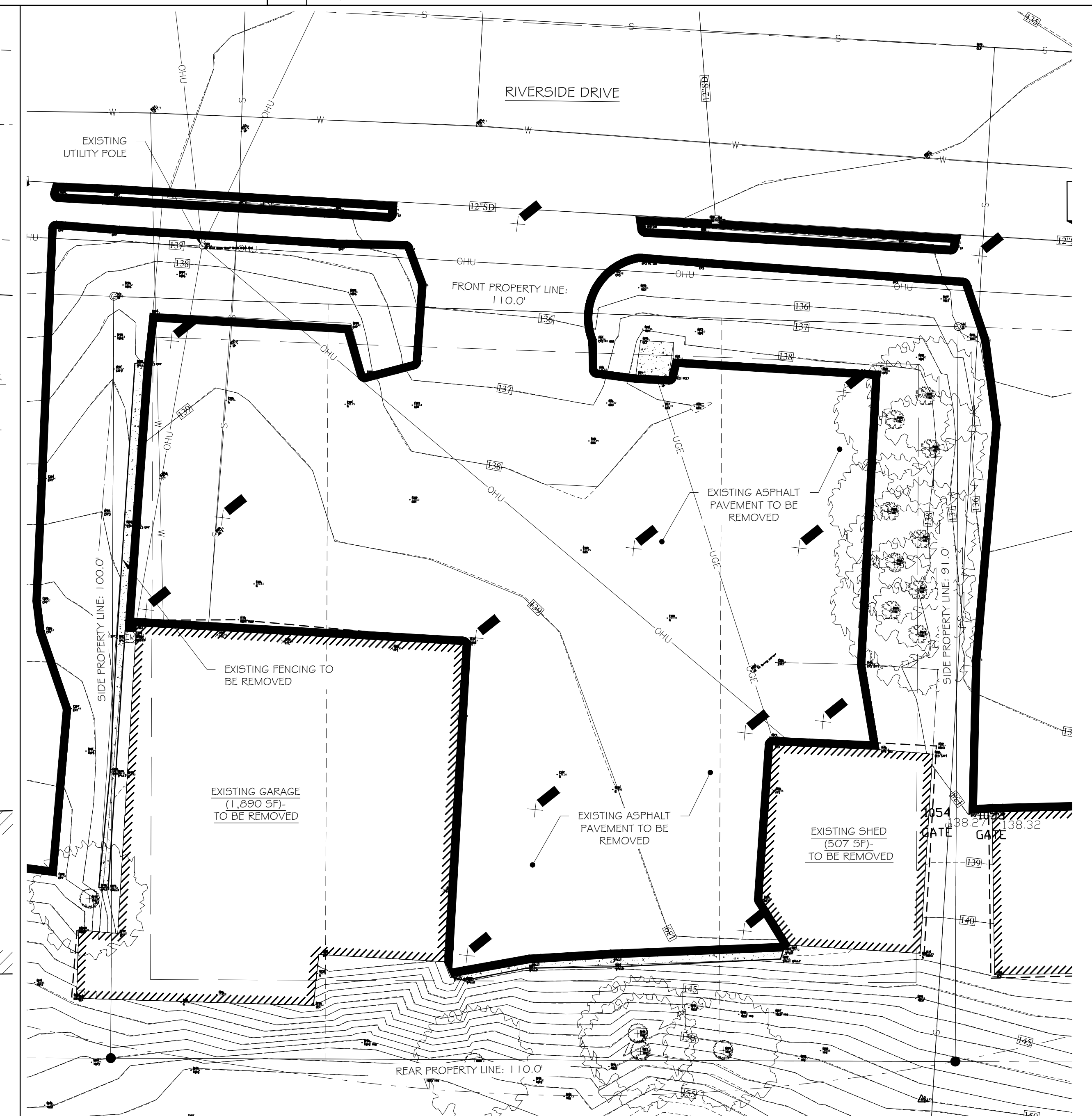
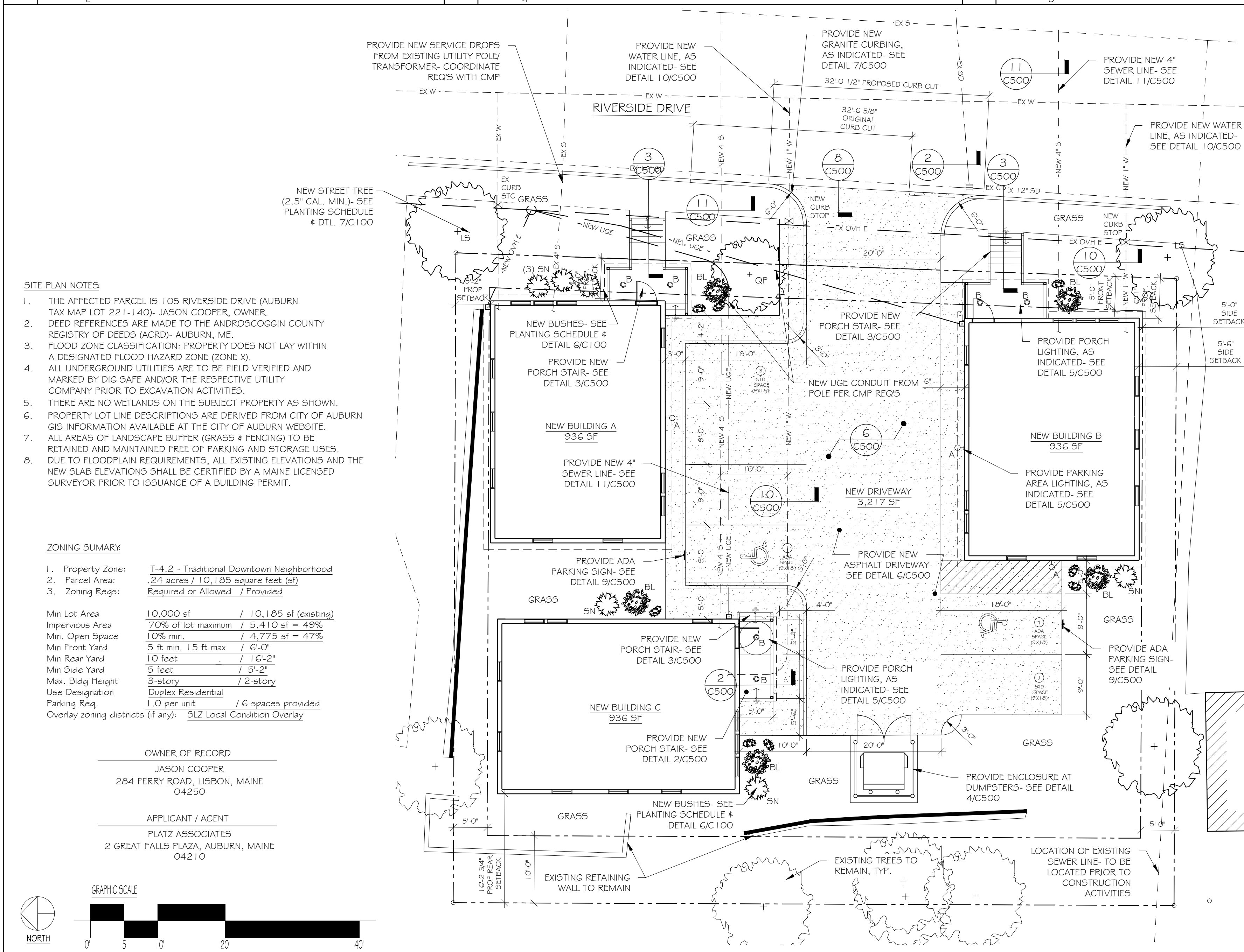


7 TREE PLANTING DETAIL  
C100 SCALE: 1/2" = 1'-0"

6 SHRUB PLANTING DETAIL  
C100 SCALE: 3/4" = 1'-0"

4 GROUND COVER PLANTING DETAIL  
C100 SCALE: 3/8" = 1'-0"

3 LOCATION MAP  
SCALE: AS NOTED



2 PROPOSED SITE LAYOUT, LANDSCAPE & UTILITY PLAN  
SCALE: 1" = 10'-0"

1 EXISTING CONDITIONS PLAN  
SCALE: 1" = 10'-0"

**PLATZ ASSOCIATES**  
Architects - Engineers  
Construction Managers  
Tel 207-784-2941  
Fax 207-784-3856  
Two Great Falls Plaza, Auburn, Maine 04210

Proposed Design of:  
**NEW DUPLEX HOUSING**  
105 RIVERSIDE DRIVE  
AUBURN, MAINE 04210

SEAL  
LICENSED ARCHITECT  
TRAVIS R. NADEAU  
4038  
PERMIT DRAWINGS  
NOT FOR CONSTRUCTION  
Do Not Reproduce Drawings

ORIGINAL DATE: 04/04/2024

DRAWING ISSUE	DESCRIPTION	DATE
1	PERMIT REV1	07/03/24

JOB NO. 202332

DRAWN BY: WMc CHECKED BY: TRN

SHEET TITLE: SITE/UTILITY/LANDSCAPE PLAN & DETAILS

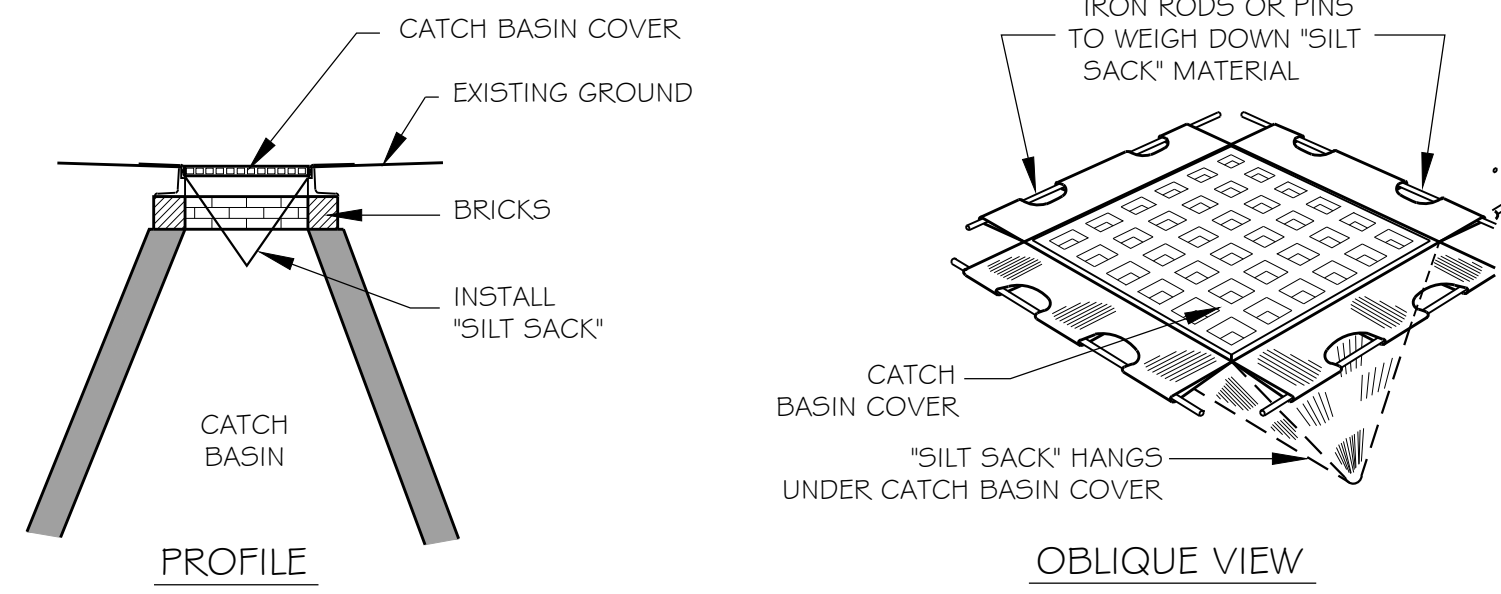
SHEET **C100**

1402332 - 105 Riverside Dr, Auburn, ME 04210

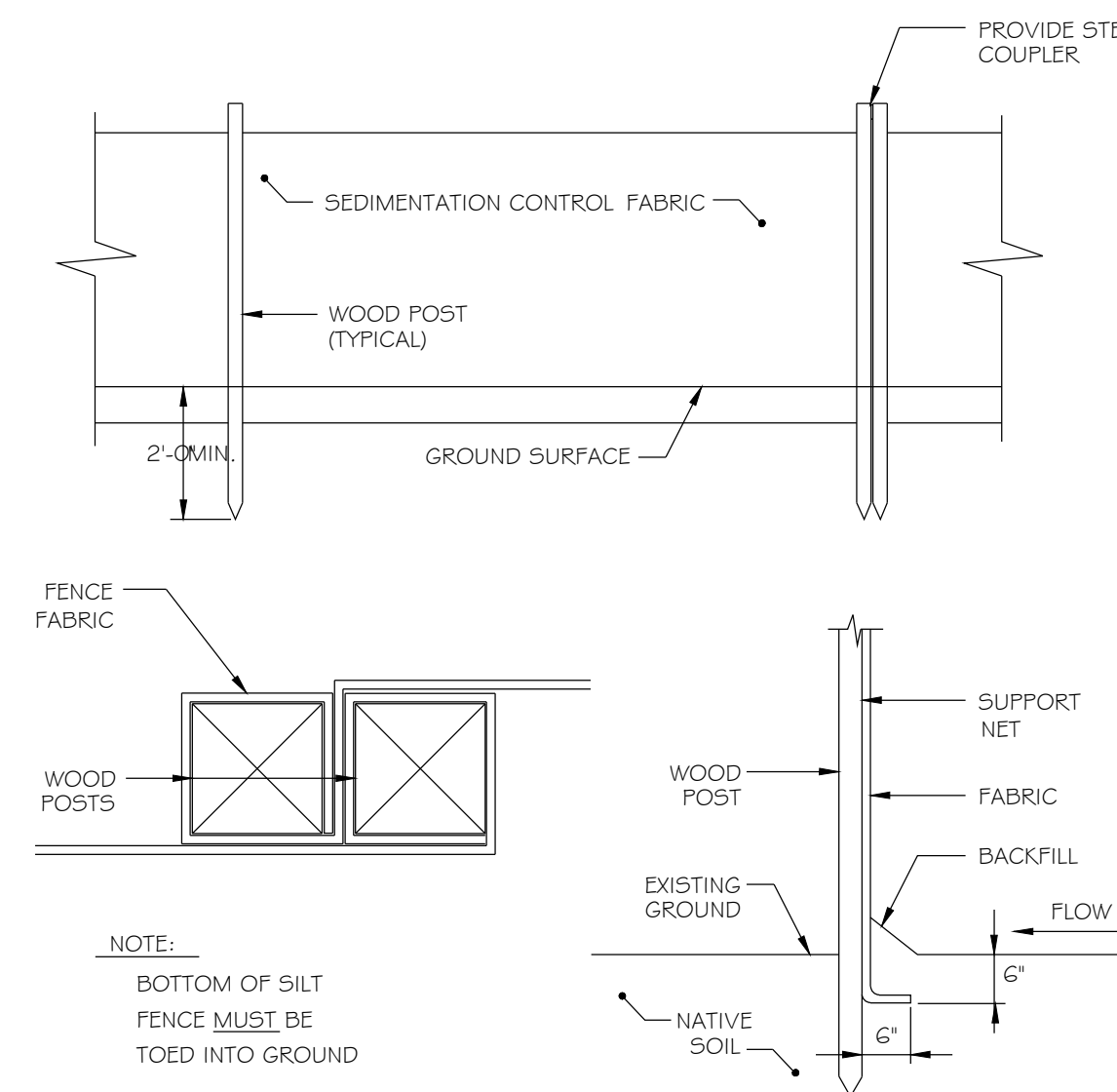




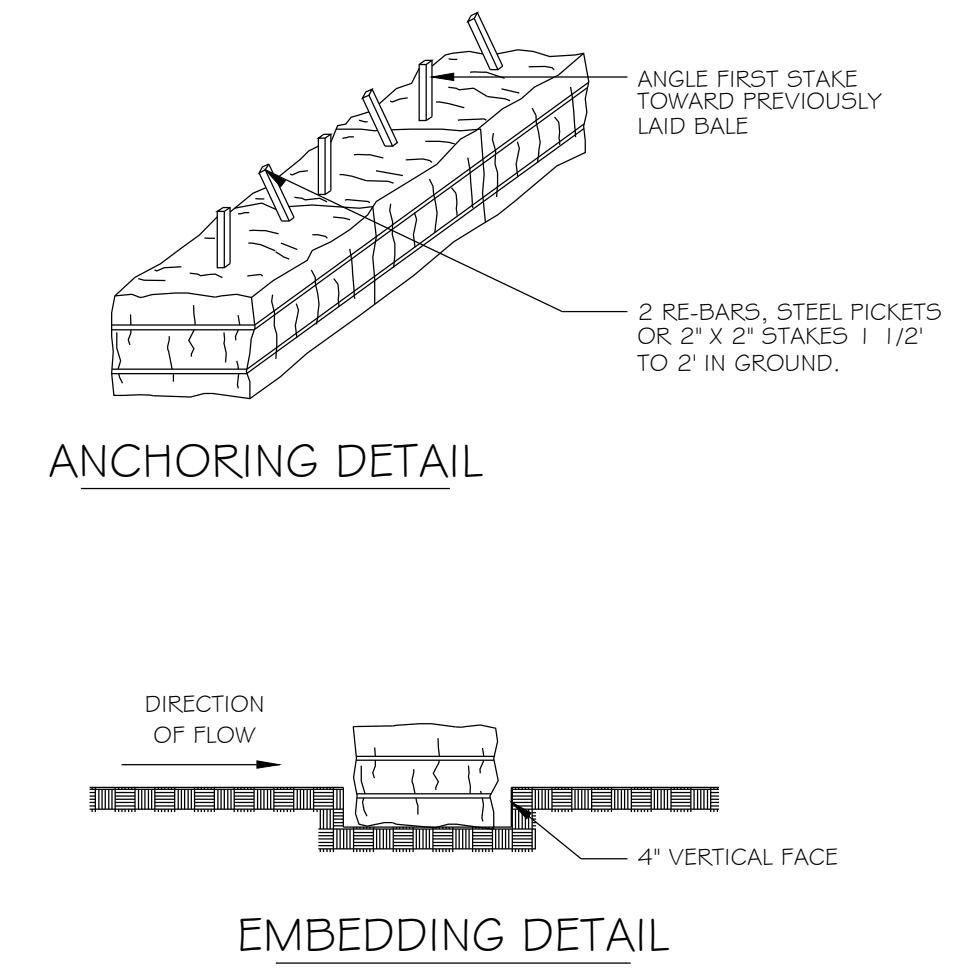




5 SILT SACK DETAIL  
SCALE: N.T.S.



4 SILTATION FENCE DETAIL  
SCALE: N.T.S.



3 HAY BALE DETAIL  
SCALE: N.T.S.

GENERAL EROSION AND SEDIMENTATION CONTROL PRACTICES

1. EROSION/SEDIMENT CONTROL DEVICES

The following erosion sedimentation control devices are proposed for construction on this project. Install these devices as indicated on the plans.

- 1.1 Silt Fence: Silt fence will be installed along the down grading edges of disturbed areas to trap runoff borne sediments until the site is stabilized. In areas where storm water discharges the silt fence will be reinforced with hay bales to help maintain the integrity of the silt fence and to provide additional treatment.
- 1.2 Hay bales placed in drainage swales and paths to trap sediments and reduce runoff velocities.
- 1.3 Loom, Seed, & Mulch: All disturbed areas, which are not otherwise treated, shall receive permanent seeding and mulch to stabilize the disturbed areas. The disturbed areas will be revegetated within 5 days of final grading. Seeding requirements are provided at the end of this specification.
- 1.4 Jute Mesh: Straw and hay mulch; used to cover denuded areas until permanent seed or erosion control measures are in place. Mulch can be used on slopes less than 3:1. Use Jute mesh on slopes in excess of 3:1.

2. TEMPORARY EROSION/SEDIMENTATION CONTROL MEASURES

Provide the following temporary erosion/sedimentation control measures during construction of the Development:

- 2.1 Siltation fence along the downgradient side of the parking areas and of all fill sections. The siltation fence will remain in place until the site is revegetated.
- 2.2 Hay bales at key locations to supplement the silt fence.
- 2.3 Protect temporary stockpiles of stumps, grubbing, or common excavation as follows:
  - a. Soil stockpile side slopes shall not exceed 2:1.
  - b. Avoid placing temporary stockpiles in areas with slopes over 10 percent, or near drainage swales.
  - c. Stabilize stockpiles within 15 days by temporarily seeding with a hydroseed method containing an emulsified mulch tackifier or by covering the stockpile with mulch.
  - d. Surround stockpile soil with siltation fence.
- 2.4 All denuded areas which have been rough graded and are not located within the building pad, or parking and driveway subbase area shall receive mulch within 30 days of initial disturbance of soil or within 15 days after completing the rough grading operations. In the event the Contractor completes final grading and installation of loam and sod within the time periods presented above, installation of mulch and netting, where applicable is not required.
- 2.5 If work is conducted between October 15 and April 15, all denuded areas are to be covered with hay mulch, applied at twice the normal application rate, and anchored with fabric netting. The period between final grading and mulching shall be a 5 day maximum.
- 2.6 Temporary erosion control measures shall be removed once the site has been stabilized on areas where permanent erosion control measures have been installed.

3. PERMANENT EROSION CONTROL MEASURES

The following permanent control measures are required by this Erosion/Sedimentation Control Plan:

- 3.1 All areas disturbed during construction, but not subject to other restoration (paving, rip rap, etc.), will be loamed, limed, fertilized and sodded. Native topsoil shall be stockpiled and reused for final restoration when it is of sufficient quality.
- 3.2 Slopes greater than 2:1 will receive Jute Mesh or np.

CONSTRUCTION PHASE

The following general practices will be used to prevent erosion during construction of this project.

1. Only those areas under active construction will be cleared and left in an untreated or unvegetated condition. If final grading, loaming and seeding will not occur within 15 days. See Item No. 4.
2. Prior to the start of construction in a specific area, silt fencing and/or hay bales will be installed at the toe of slope and in areas as located on the plans to protect against any construction related erosion. Immediately following construction of culverts and swales, rip rap aprons shall be installed, as shown on the plans.

2 EROSION CONTROL NOTES  
SCALE: N.T.S.

3. Topsoil will be stockpiled when necessary in areas which have minimum potential for erosion and will be kept as far as possible from the existing drainage course. All stockpiles expected to remain longer than 15 days shall be:
  - a. Treated with anchored mulch (within 5 days of the last deposit of stockpiled soil).
  - b. Seeded with conservation mix and mulched immediately.

Stockpiles expected to remain longer than 7 days shall be encircled with hay bales or silt fence at the toe of the pile.

4. All disturbed areas expected to remain longer than 7 days shall be either:
  - a. Treated with anchored mulch immediately, or
  - b. Seeded with conservation mix of annual rye grass (0.9 lbs/1000 sq. ft.) and mulched immediately.

5. All grading will be held to a maximum 2:1 slope where practical. All slopes will be stabilized with permanent seeding, or with stone, within 5 days after final grading is complete. (See Post-Construction revegetation for seeding specification.)

6. All culverts will be protected with stone rip rap (D50 = 6" unless otherwise specified) at inlets and outlets.

POST-CONSTRUCTION REVEGETATION

The following general practices will be used to prevent erosion as soon as an area is ready to undergo final grading.

1. A minimum of 4" of loam will be spread over disturbed areas and graded to a uniform depth and natural appearance, or stone will be placed on slopes to stabilize surfaces.
2. If final grading is reached during the normal growing season (4/15 to 9/15), permanent seeding will be done as specified below. Prior to seeding, limestone shall be applied at a rate of 13.8 lbs/1000 sq. ft. and 10:20:20 fertilizer at a rate of 18.4 lbs/1000 sq. ft. will be applied. Broadcast seeding at the following rates:
 

Lawns	Swales
Kentucky Bluegrass 0.46 lbs/1000 sq. ft.	Red Top 0.05 lbs/1000 sq. ft.
Creeping Red Fescue 0.46 lbs/1000 sq. ft.	Tall Fescue 0.46 lbs/1000 sq. ft.
Perennial Rye grass 0.11 lbs/1000 sq. ft.	

3. An area shall be mulched immediately after it has been seeded. Mulching shall consist of hay mulch, hydro-mulch or any suitable substitute deemed acceptable by the Designer.
  - a. Hay mulch shall be applied at the rate of 2 tons per acre. Hay mulch shall be secured by either:
    - i. Being driven over by tracked construction equipment on grades of 5% and less.
    - ii. Blanketed by tacked photodegradable/biodegradable netting, or with spray, on grades greater than 5%.
  - b. Hydro-mulch shall consist of a mixture of either asphalt, wood fiber or paper fiber and water sprayed over a seeded area. Hydro-mulch shall not be used between 9/15 and 4/15.

4. Construction shall be planned to eliminate the need for seeding between September 15 and April 15. Should seeding be necessary between September 15 and April 15 and the following procedure shall be followed.
  - a. Only unfrozen loam shall be used.
  - b. Loaming, seeding and mulching will not be done over snow or ice cover. If snow exists, it must be removed prior to placement of seed.
  - c. Where permanent seeding is necessary, Annual Winter Rye (1.2 lbs/1000 sq. ft.) shall be added to the previously noted areas.
  - d. Where temporary seeding is required, Annual Winter Rye (2.6 lbs/1000 sq. ft.) shall be sown instead of the previously noted seeding rate.
  - e. Fertilizing, seeding and mulching shall be applied to loam the day the loam is spread by machinery.
  - f. Alternative hay mulch shall be secured with photodegradable/biodegradable netting. Tracking by machinery alone will not suffice.

5. Following final seeding, the site will be inspected every 30 days until 80% cover has been established. Reseeding will be carried out by the contractor within 10 days of notification by the engineer that the existing catch is inadequate.

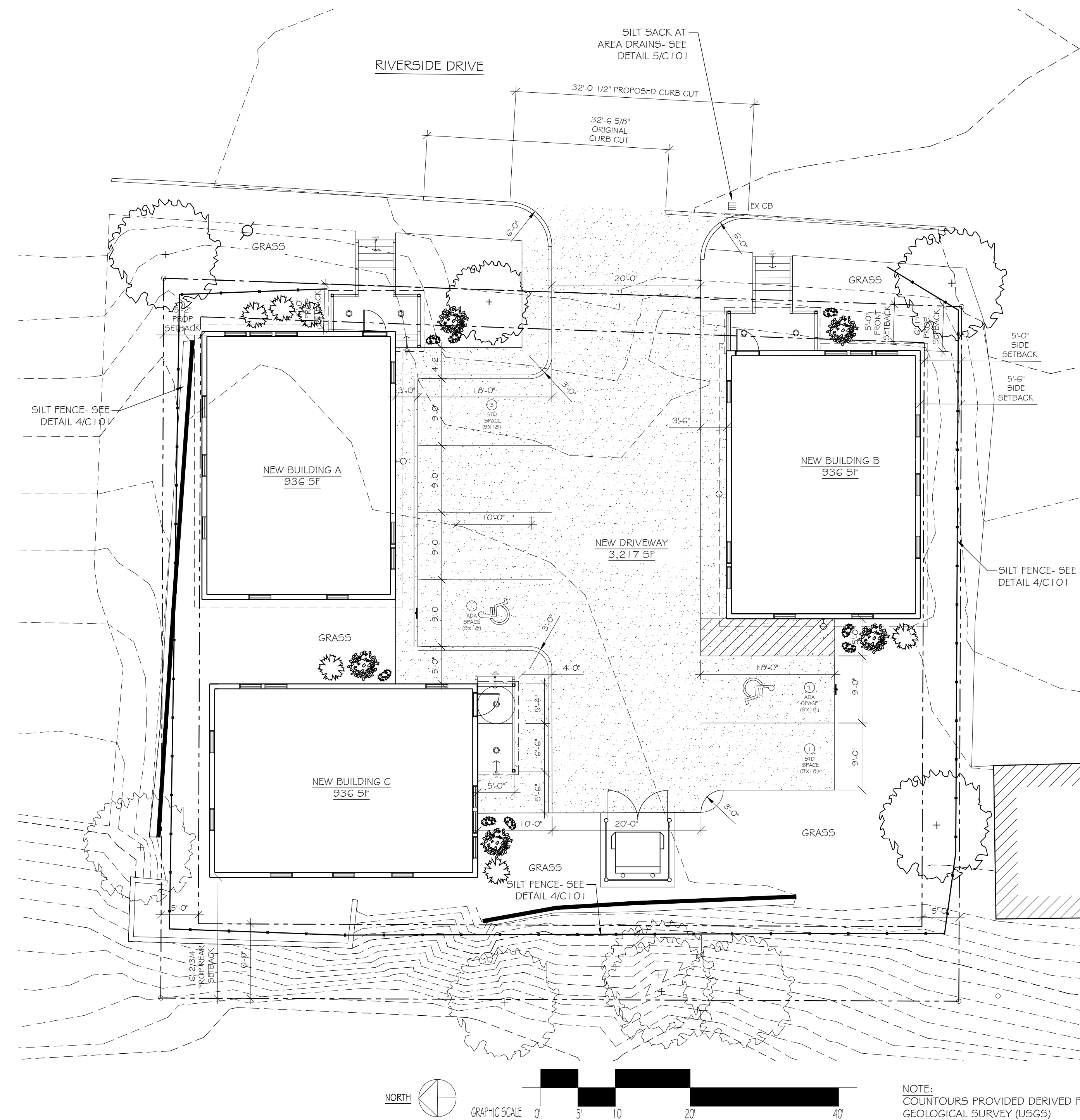
MONITORING SCHEDULE

The contractor is responsible for installing, monitoring, maintaining, repairing, replacing and removing all of the erosion and sedimentation controls or appointing a qualified subcontractor to do so.

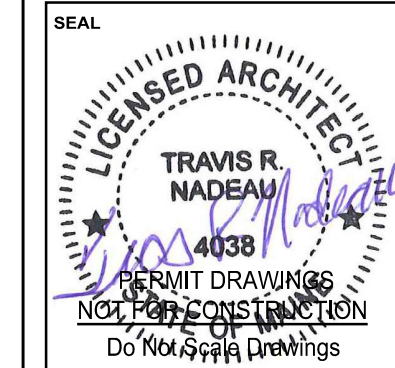
Maintenance measures will be applied as needed during the entire construction cycle. After each rainfall, a visual inspection will be made of all erosion and sedimentation controls as follows:

1. Hay bale barriers and silt fence shall be inspected and repaired once a week or immediately following any significant rainfall. Sediment trapped behind these redistributed to areas undergoing final grading. Should the hay bale barriers prove to be ineffective, the contractor shall install silt fence behind the hay bales.
2. Visually inspect rip rap once a week or after each significant rainfall and repair as needed. Remove equal to 1/2 the height of the dam or riser. Distribute removed sediment off-site or to an area undergoing final grading.
3. Revegetation of disturbed areas within 25' of drainage course/stream will be seeded with the "meadow area mix" and inspected on a weekly basis or after each be reseeded as needed until the area has obtained 100% growth rate. Provide permanent rip rap for slopes in excess of 3:1 and within 25' of drainage course.

1 EROSION CONTROL PLAN  
SCALE: 1" = 30'



1 EROSION CONTROL PLAN  
SCALE: 1" = 30'



ORIGINAL DATE: 04/04/2024

No.	DESCRIPTION	DATE
1	PERMIT REV 1	07/03/24

JOB NO. 202332

DRAWN BY	CHECKED BY
WmC	TRN

SHEET TITLE  
**EROSION CONTROL PLAN**

SHEET  
**C101**

2 EROSION CONTROL NOTES  
SCALE: N.T.S.







City of Auburn, Maine  
Planning & Permitting

Eric Cousens, Director

60 Court Street | Auburn, Maine  
04210 [www.auburnmaine.gov](http://www.auburnmaine.gov) |  
207.333.6601

# Development Review Application

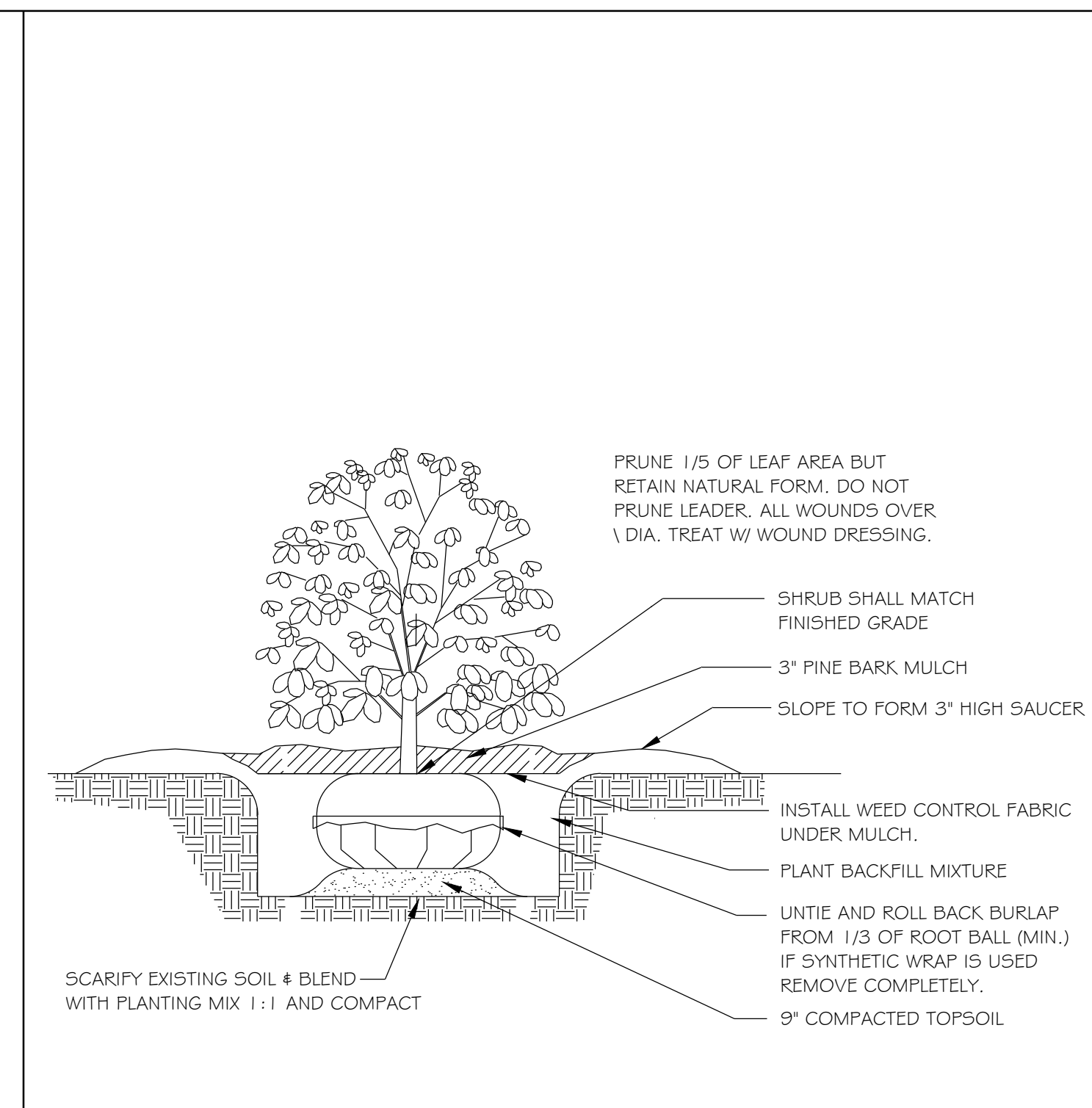
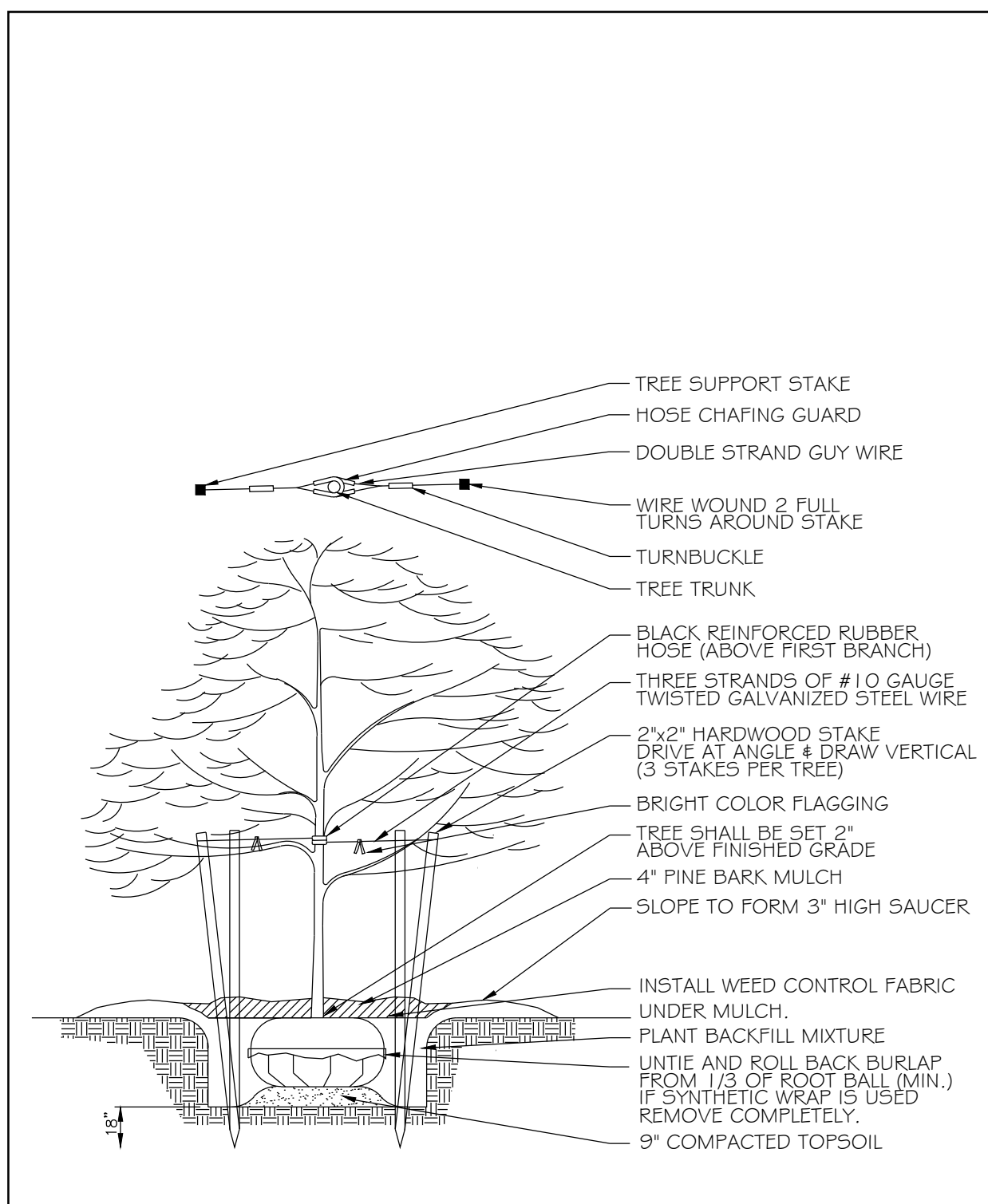
**TRAFFIC ESTIMATE**

Total traffic estimated in the peak hour-existing 8.15 passenger car equivalents (PCE)

Total traffic estimated in the peak hour-proposed 3.36 passenger car equivalents (PCE)

If the proposed increase in traffic exceeds 100 one-way trips in the peak hour then a traffic movement permit will be required.





1. STREET TREES (SEE DETAIL 4/C103 FOR ADDTL INFO.):

KEY	BOTANICAL NAME	COMMON NAME	SIZE	#	NOTES
LS	LIQUIDAMBAR STYRACIFLUA	AMERICAN SWEETGUM	2.5"	2	
QP	QUERCUS PALUSTRIS 'GREEN PILLAR'	FASTIGIATE OAK	2.5"	1	

2. SHRUBS (SEE DETAIL 3/C103 FOR ADDTL INFO.):

KEY	BOTANICAL NAME	COMMON NAME	SIZE	#	NOTES
BL	VACCINIUM	BLUBERRY	24" TALL	5	
SN	SAMBUCUS NIGRA	ELDERBERRY	24" TALL	7	

3. PERENNIAL/ANNUALS (SEE DETAIL 2/C103 FOR ADDTL INFO.):

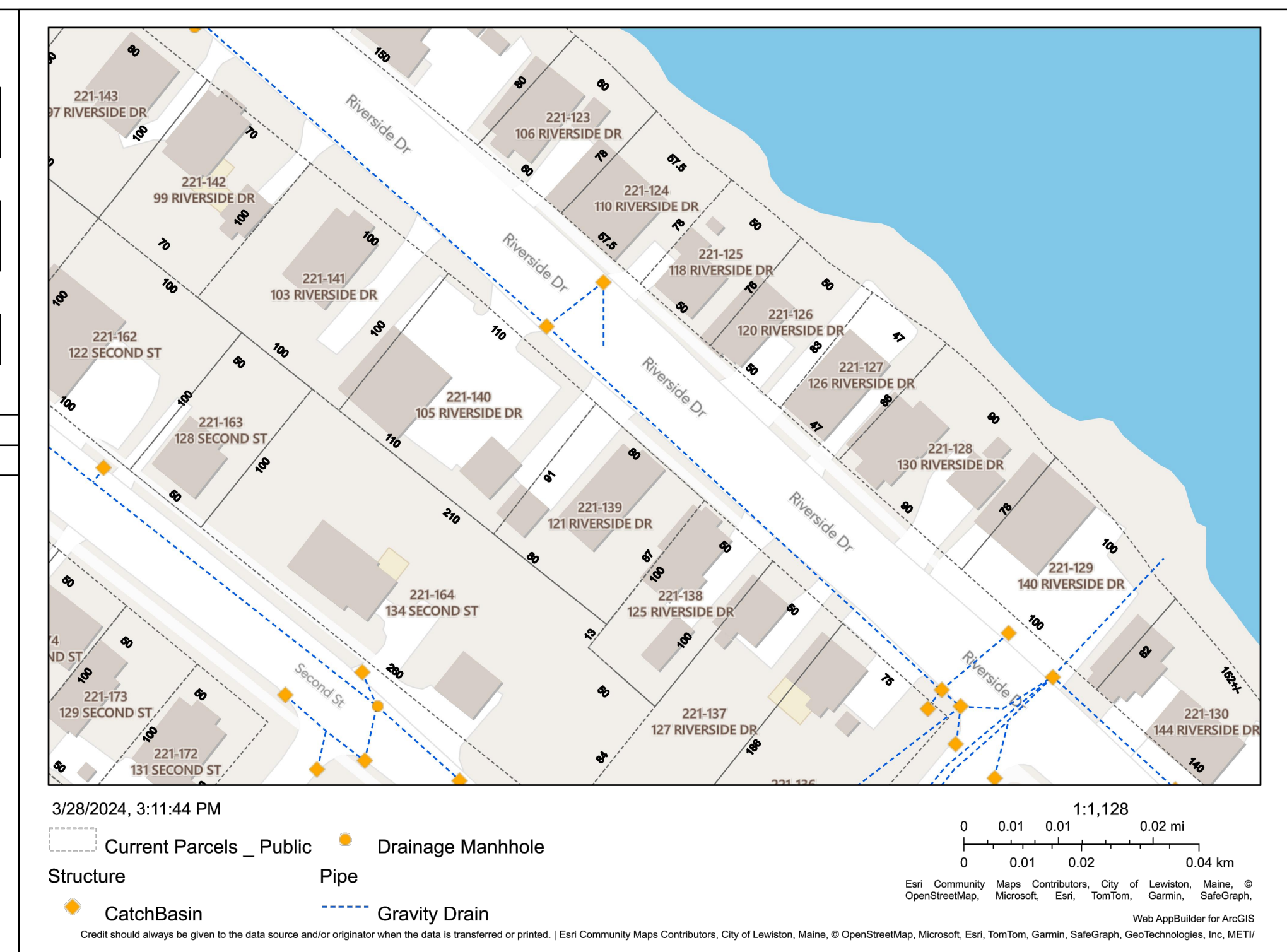
KEY	BOTANICAL NAME	COMMON NAME	SIZE	#	NOTES
VA	VIOLA ETAIN	ETAIN PANSY	1 GAL	40	5 @ EA. BED

5. PLANTING SCHEDULE  
SCALE: N.T.S.

Labels for Ground Cover Planting Detail:

- 2" MULCH UNDER LEAVES
- 2" MIN. TOPSOIL BERM
- 4" MULCH BED
- USE PLANTING MIX TO DEPTH OF 12". ADD:
  - 30 LBS/100 S.F. PEAT MOSS
  - 100 LBS/100 S.F. MANURE
  - 2 LBS/100 S.F. BONE MEAL

NOTE: REMOVE ALL ROPES, WRAPS, CONTAINERS, TAGS, ETC.

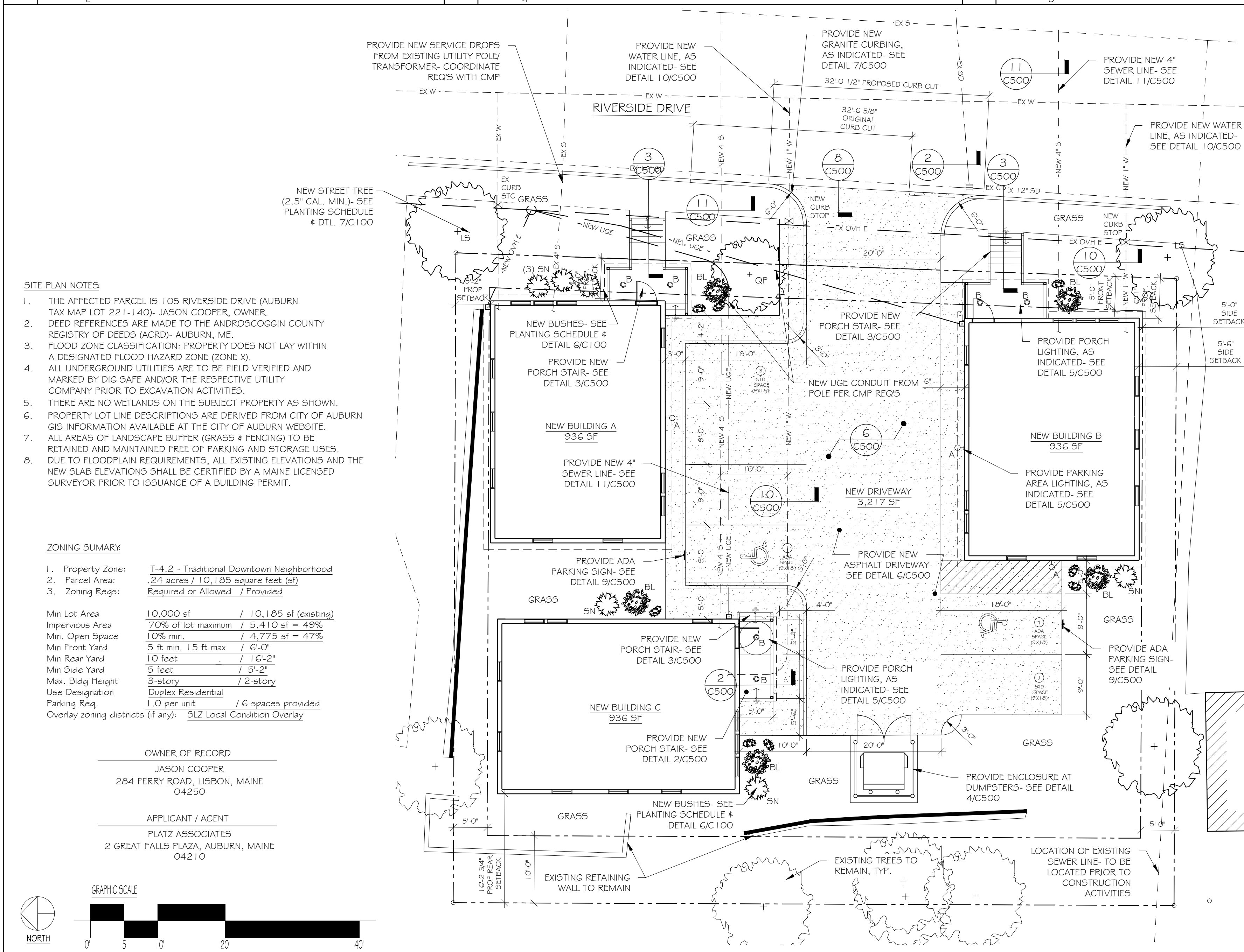


7 TREE PLANTING DETAIL  
SCALE: 1/2" = 1'-0"

6 SHRUB PLANTING DETAIL  
SCALE: 1/2" = 1'-0"

4 GROUND COVER PLANTING DETAIL  
SCALE: 1/2" = 1'-0"

3 LOCATION MAP  
SCALE: AS NOTED



**SITE PLAN NOTES**

- THE AFFECTED PARCEL IS 105 RIVERSIDE DRIVE (AUBURN TAX MAP LOT 221-140)- JASON COOPER, OWNER.
- DEED REFERENCES ARE MADE TO THE ANDROSCOGGIN COUNTY REGISTRY OF DEEDS (ACRD)- AUBURN, ME.
- FLOOD ZONE CLASSIFICATION: PROPERTY DOES NOT LAY WITHIN A DESIGNATED FLOOD HAZARD ZONE (ZONE X).
- ALL UNDERGROUND UTILITIES ARE TO BE FIELD VERIFIED AND MARKED BY DIG SAFE AND/OR THE RESPECTIVE UTILITY COMPANY PRIOR TO EXCAVATION ACTIVITIES.
- THERE ARE NO WETLANDS ON THE SUBJECT PROPERTY AS SHOWN.
- PROPERTY LOT LINE DESCRIPTIONS ARE DERIVED FROM CITY OF AUBURN GIS INFORMATION AVAILABLE AT THE CITY OF AUBURN WEBSITE.
- ALL AREAS OF LANDSCAPE BUFFER (GRASS & FENCING) TO BE RETAINED AND MAINTAINED FREE OF PARKING AND STORAGE USES. DUE TO FLOODPLAIN REQUIREMENTS, ALL EXISTING ELEVATIONS AND THE NEW SUB ELEVATIONS SHALL BE CERTIFIED BY A MAINE LICENSED SURVEYOR PRIOR TO ISSUANCE OF A BUILDING PERMIT.

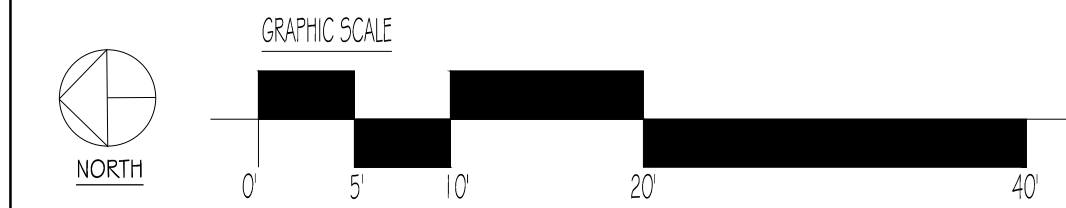
**ZONING SUMMARY**

- Property Zone: T-4.2 - Traditional Downtown Neighborhood
- Parcel Area: 24 acres / 10,185 square feet (sf)
- Zoning Regs: Required or Allowed / Provided

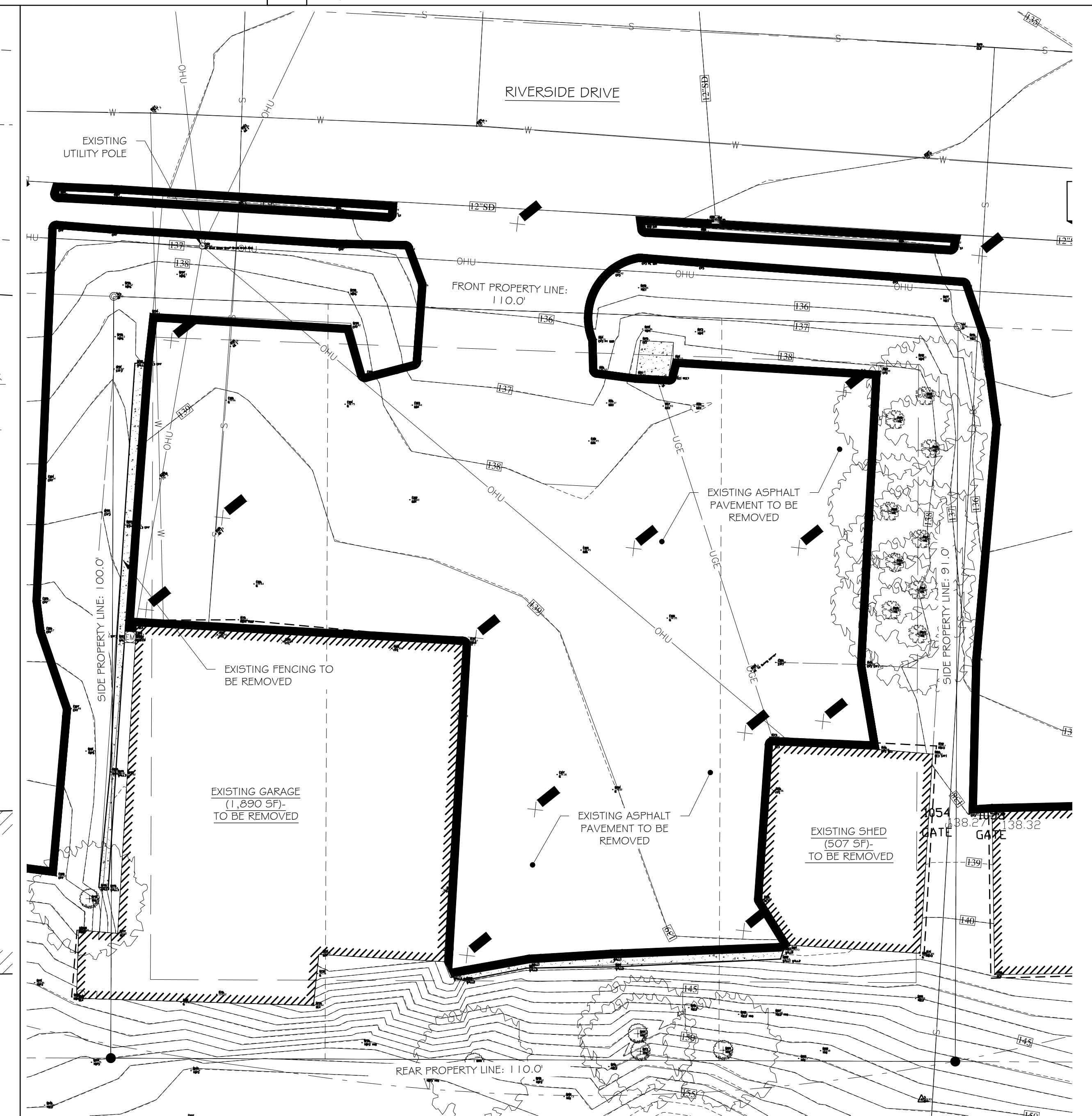
Min Lot Area	10,000 sf	/	10,185 sf (existing)
Impervious Area	70% of lot maximum	/	5,410 sf = 49%
Min. Open Space	10% min.	/	4,775 sf = 47%
Min Front Yard	5 ft min. 15 ft max	/	6'-0"
Min Rear Yard	10 feet	/	11'-2"
Min Side Yard	5 feet	/	5'-2"
Max. Bldg Height	3-story	/	2-story
Use Designation	Duplex Residential		
Parking Req.	1.0 per unit	/	6 spaces provided
Overlay zoning districts (if any):	SLZ Local Condition Overlay		

**OWNER OF RECORD**  
JASON COOPER  
284 FERRY ROAD, LISBON, MAINE 04250

**APPLICANT / AGENT**  
PLATZ ASSOCIATES  
2 GREAT FALLS PLAZA, AUBURN, MAINE 04210



2 PROPOSED SITE LAYOUT, LANDSCAPE & UTILITY PLAN  
SCALE: 1" = 10'-0"



1 EXISTING CONDITIONS PLAN  
SCALE: 1" = 10'-0"

**PLATZ ASSOCIATES**  
Architects - Engineers  
Construction Managers

Tel 207-784-2941  
Fax 207-784-3856

Two Great Falls Plaza, Auburn, Maine 04210

Proposed Design of:

**NEW DUPLEX HOUSING**  
105 RIVERSIDE DRIVE  
AUBURN, MAINE 04210

SEAL

LICENSED ARCHITECT  
TRAVIS R. NADEAU  
4038  
PERMIT DRAWINGS  
NOT FOR CONSTRUCTION  
Do Not Reproduce Drawings

ORIGINAL DATE: 04/04/2024

DRAWING ISSUE	DESCRIPTION	DATE
1	PERMIT REV1	07/03/24

JOB NO. 202332

DRAWN BY: WMc  
CHECKED BY: TRN

SHEET TITLE: SITE/UTILITY/LANDSCAPE PLAN & DETAILS

SHEET **C100**











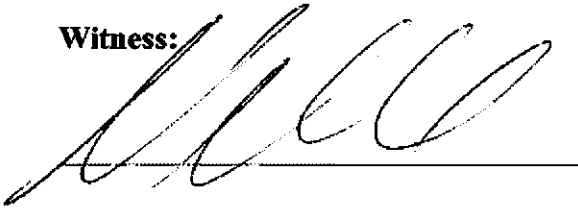
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O F F I C I A L DLN: 1002240197225 O F F I C I A L  
C O P Y C O P Y

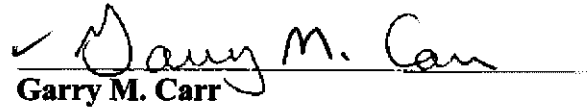
N O T N O T  
A N A N  
**QUITCLAIM DEED WITH COVENANT**

**Garry M. Carr** with a mailing address at 159 Birch Drive, Poland Spring, Maine 04274,  
grants to **Jason Cooper** with a mailing address at 284 Ferry Road, Lisbon, Maine 04250, with  
**Quitclaim Covenant**, certain lots or parcels of land, together with any buildings thereon,  
situated in **Auburn**, County of **Androscoggin**, and State of **Maine**, as more fully described in  
Exhibit "A" attached hereto and made a part hereof.

**In Witness Whereof**, the undersigned has hereunto set his hand effective this 24<sup>th</sup> day of  
June, 2022.

**Witness:**



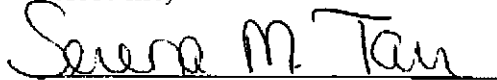
  
**Garry M. Carr**

STATE OF MAINE  
ANDROSCOGGIN, SS

June 24, 2022

Personally appeared the above-named **Garry M. Carr**, and acknowledged the foregoing  
instrument to be his free act and deed.

Before me,



Notary Public/Attorney-At-Law

Print Name: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

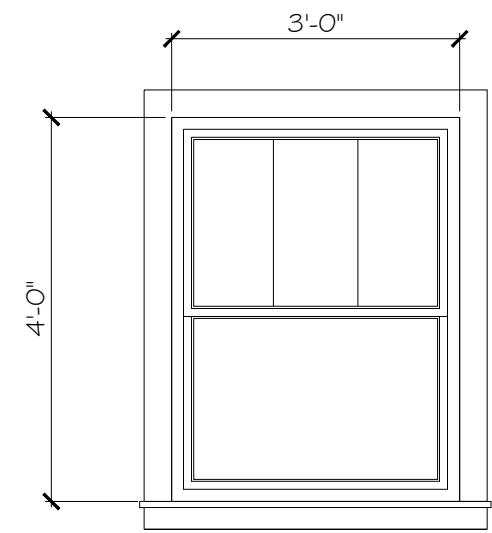
Serena M. Tarr  
Notary Public, State of Maine  
My Commission Expires Dec. 3, 2028

The preparer did not conduct a title search or examination in connection with this instrument on the property described herein, and therefore title is neither warranted nor guaranteed by the preparer. The preparer expresses no opinion as to the title the grantee will receive. The preparer of this Deed makes no representation as to the status of title, property use, zoning regulations, or any other matter.

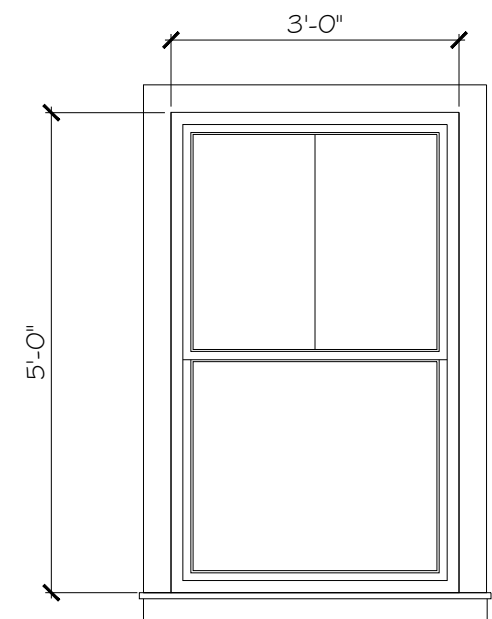




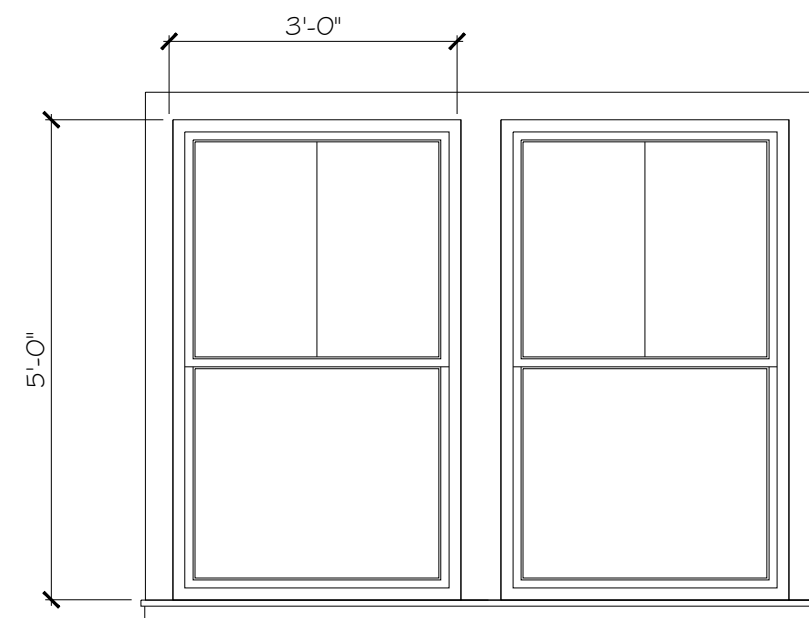




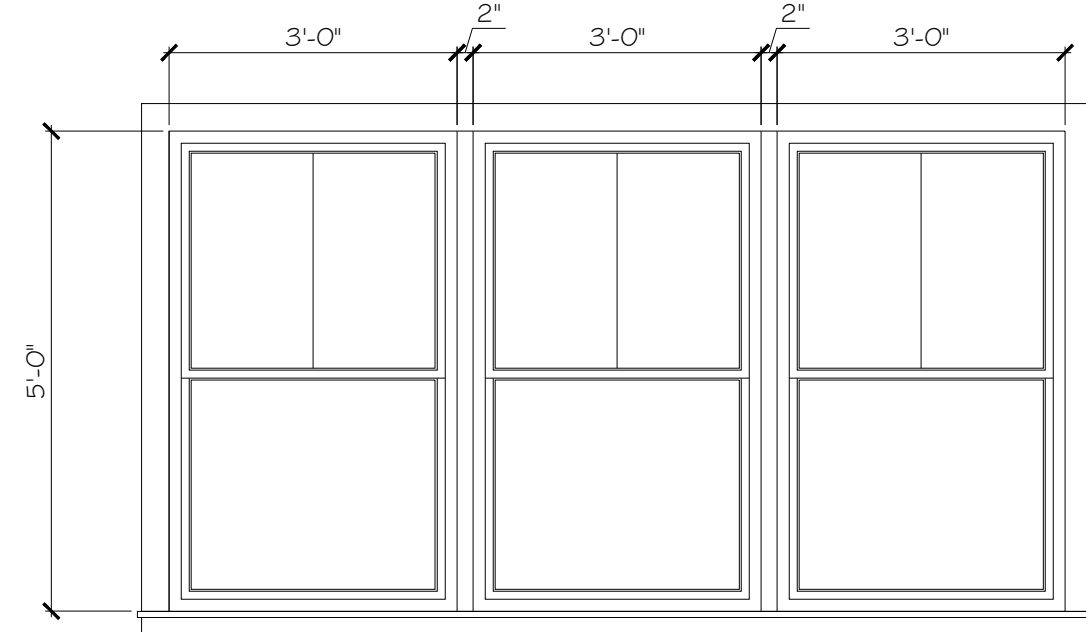
**D** WINDOW TYPE D  
EXTERIOR DOUBLE-HUNG



**C** WINDOW TYPE C  
EXTERIOR DOUBLE-HUNG

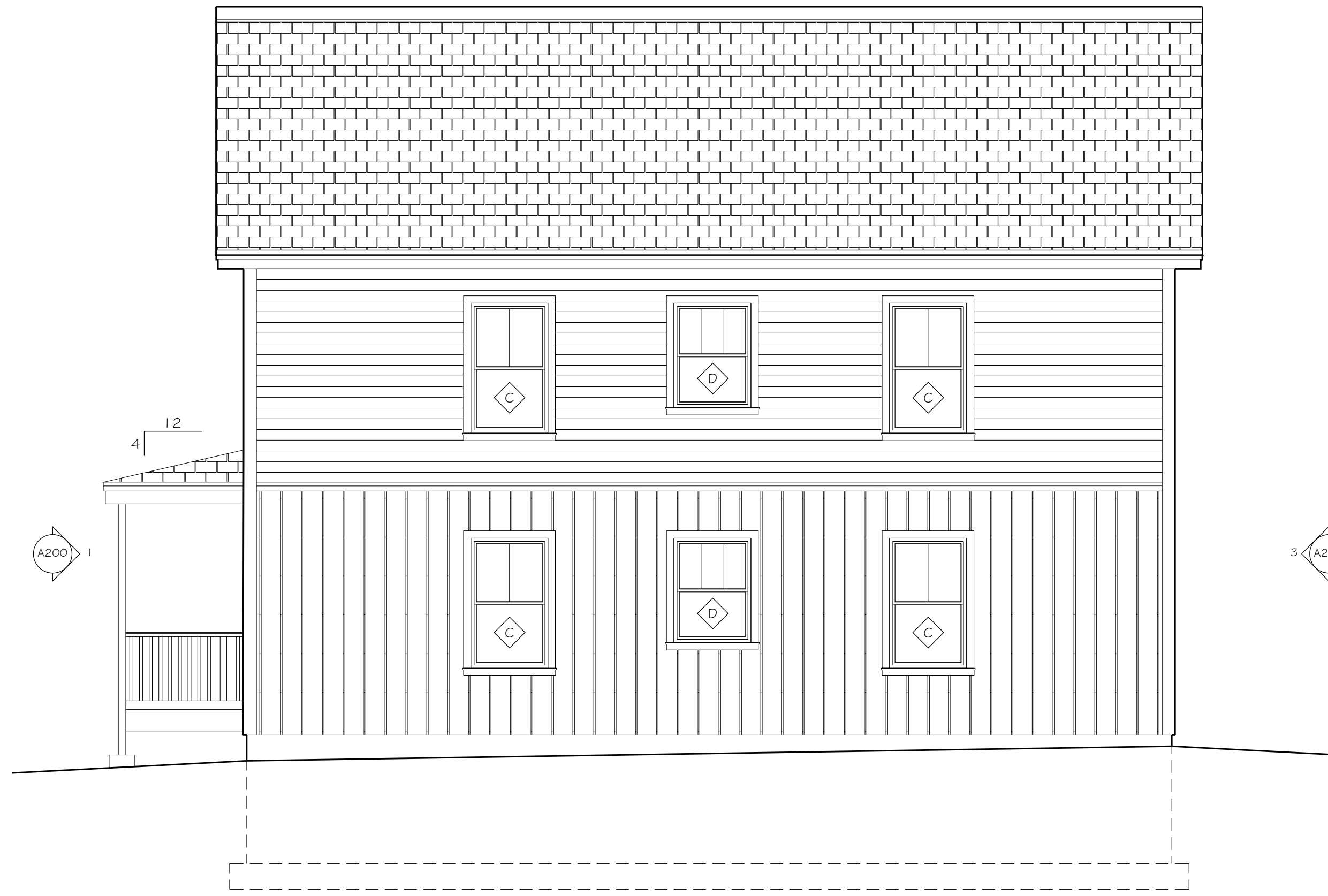


**B** WINDOW TYPE B  
EXTERIOR DOUBLE-GANGED DOUBLE-HUNG

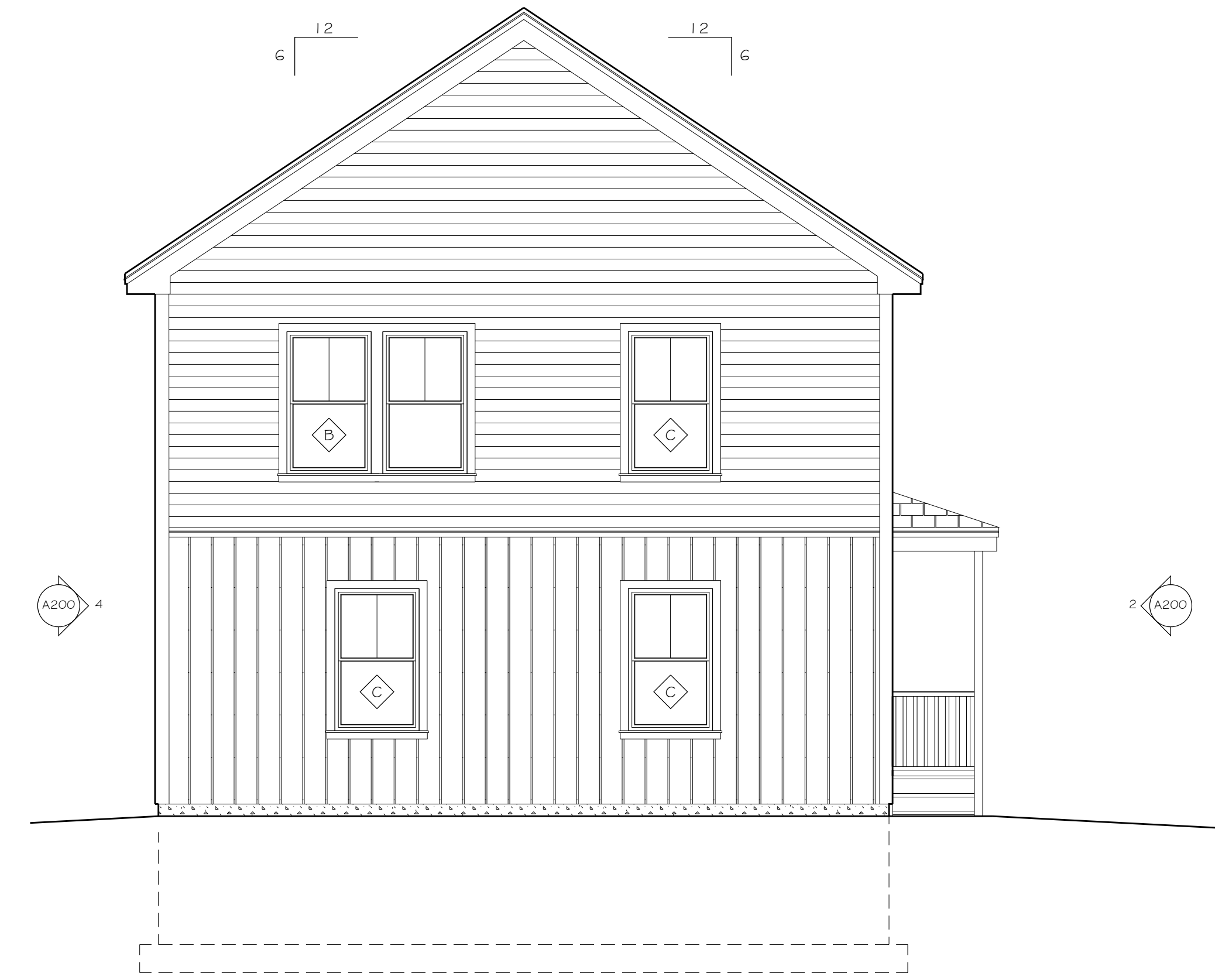


**A** WINDOW TYPE A  
EXTERIOR TRIPLE-MULLED DOUBLE-HUNG

\* PROVIDE EMERGENCY  
EGRESS WINDOW SIZING



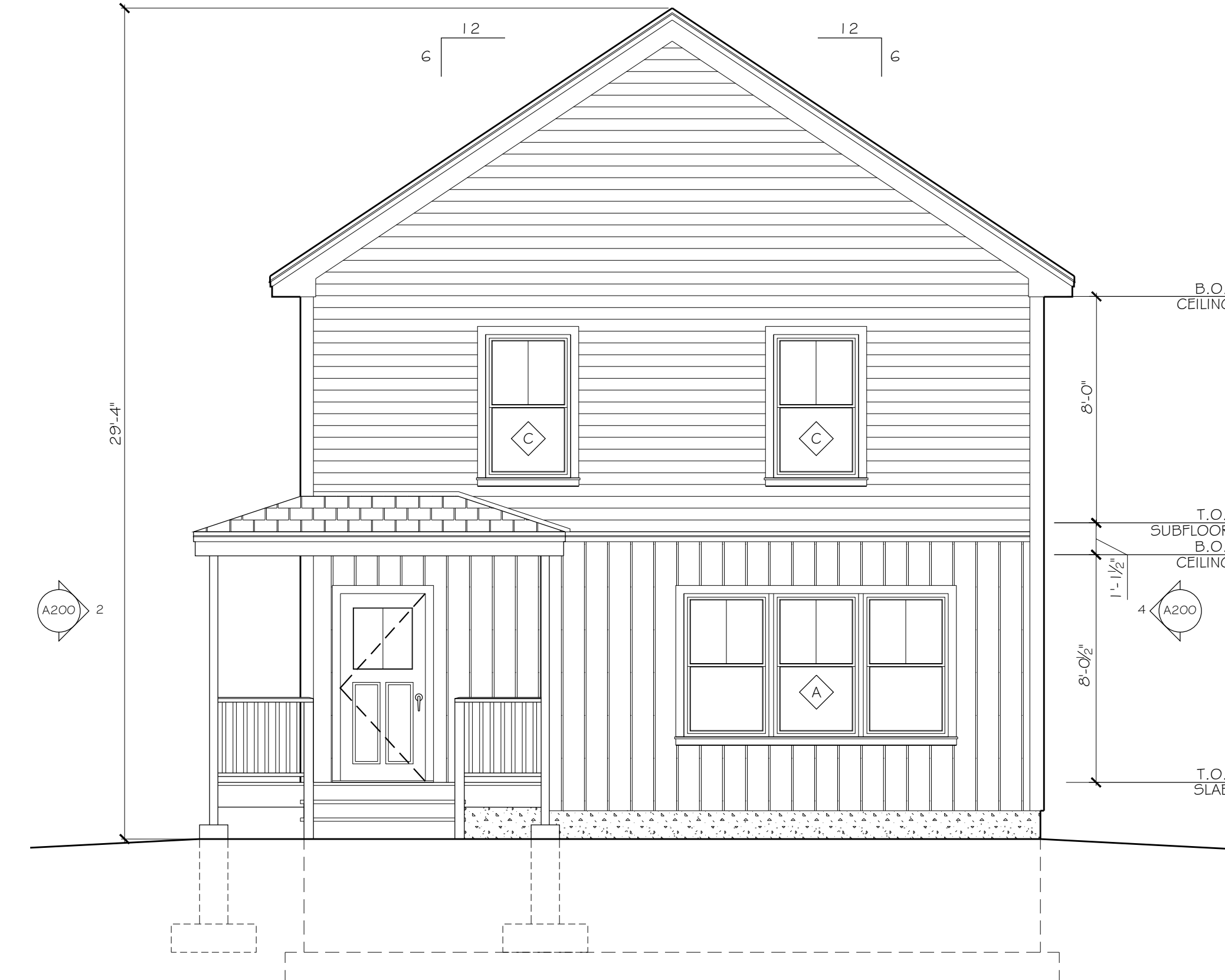
4 SIDE EXTERIOR ELEVATION- BUILDING A  
A100 SCALE: 1/4" = 1'-0"



3 REAR EXTERIOR ELEVATION- BUILDING A  
A100 SCALE: 1/4" = 1'-0"



2 SIDE EXTERIOR ELEVATION- BUILDING A  
A100 SCALE: 1/4" = 1'-0"



1 FRONT EXTERIOR ELEVATION- BUILDING A  
A100 SCALE: 1/4" = 1'-0"

SEAL

PERMIT DRAWINGS  
NOT FOR CONSTRUCTION  
Do Not Scale Drawings

ORIGINAL DATE:

02/08/2024

DRAWING ISSUE

No.	DESCRIPTION	DATE

JOB NO.

202332

DRAWN BY

WMc

CHECKED BY

TRN

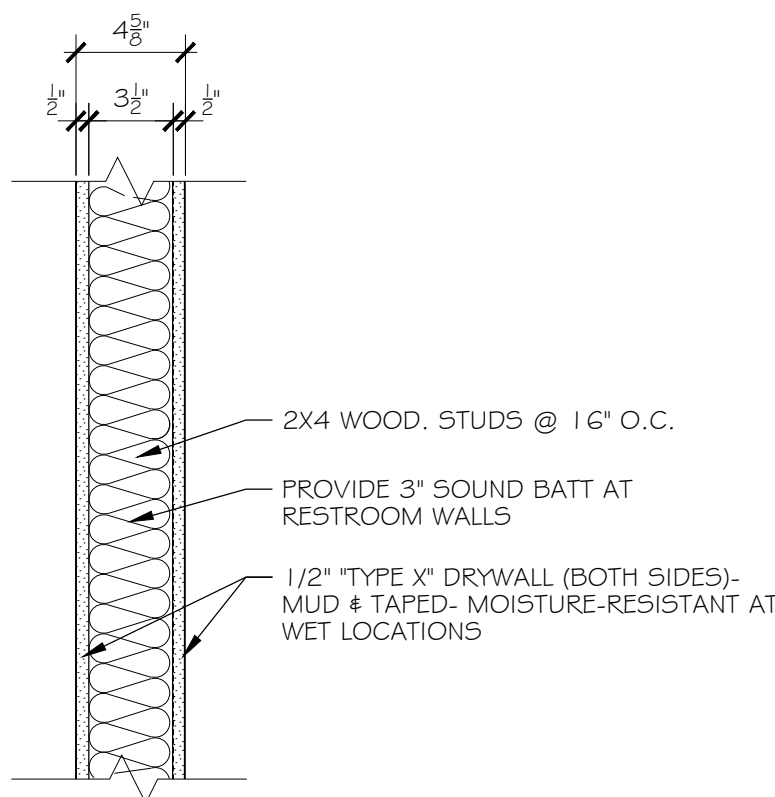
SHEET TITLE

EXTERIOR ELEVATIONS

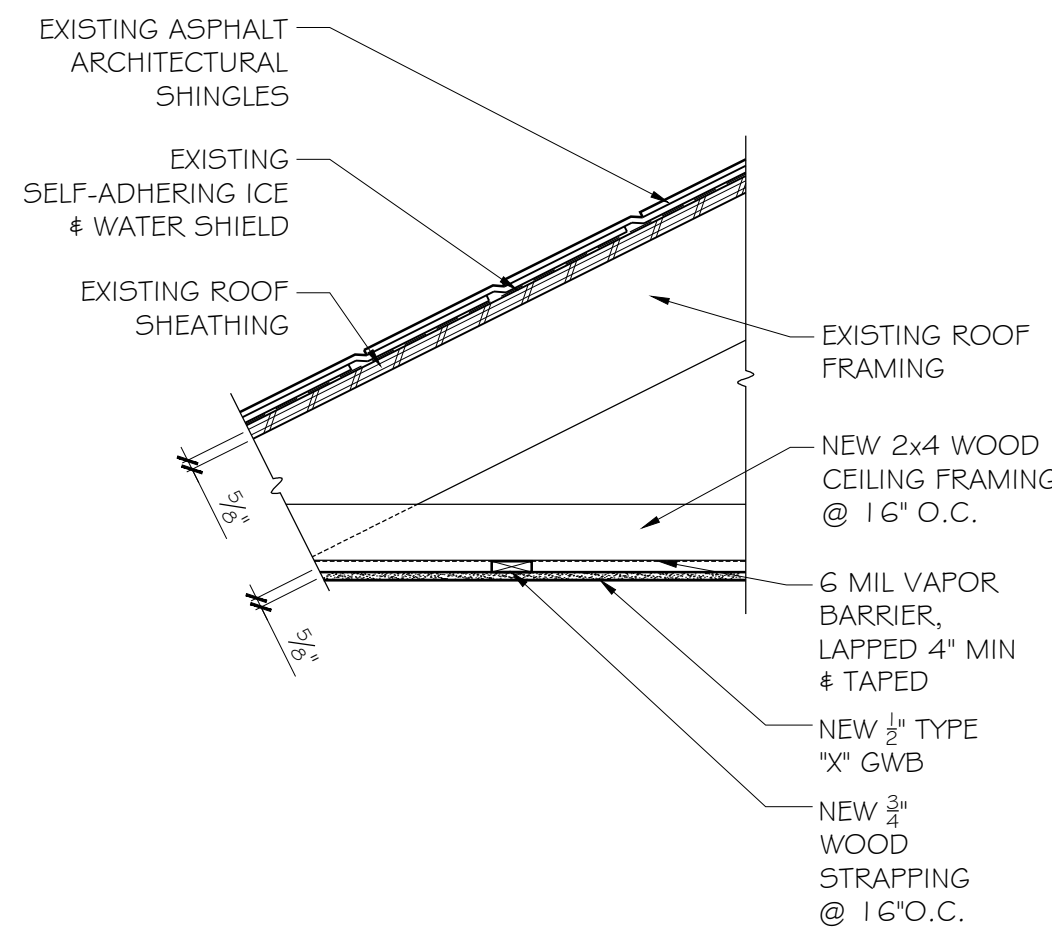
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**A200**

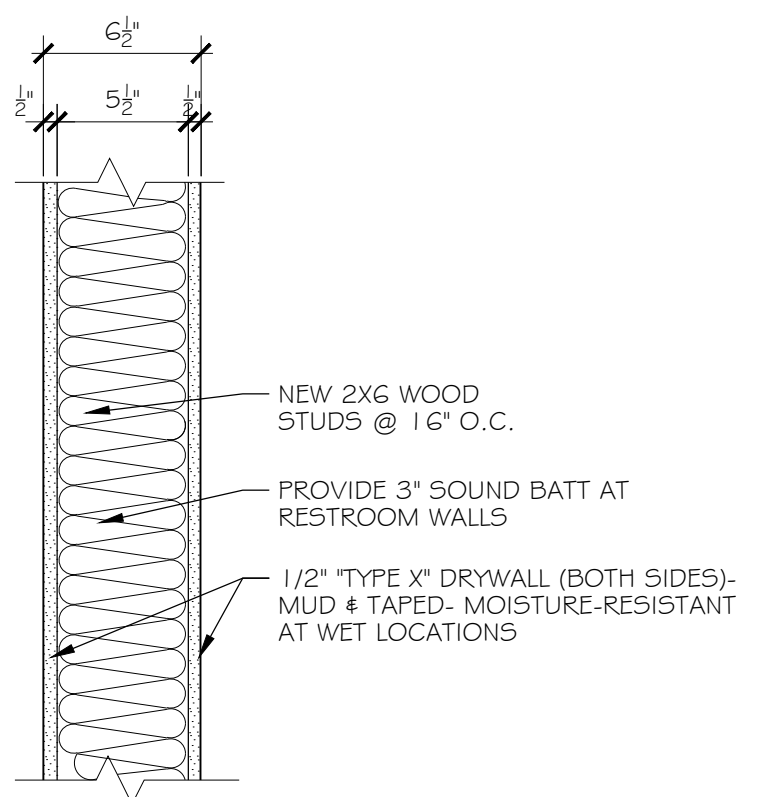




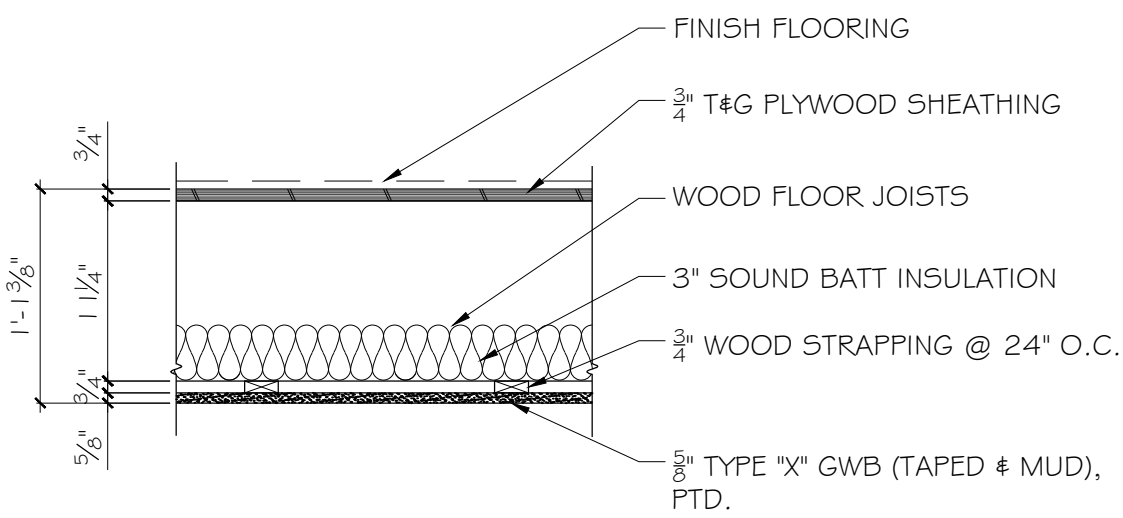
3 WALL TYPE 3- INTERIOR 2X4 WALL



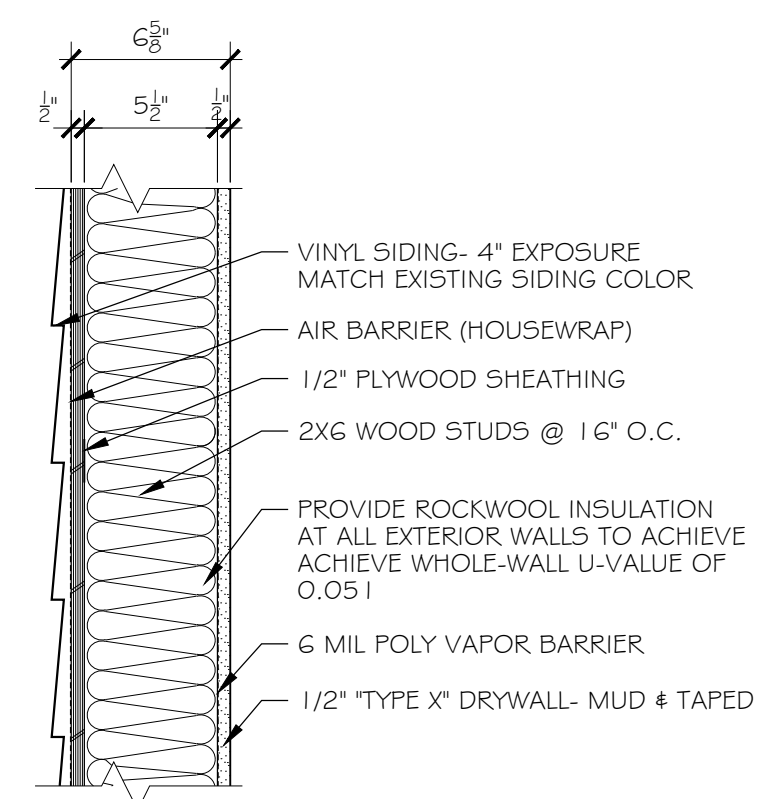
1 ROOF TYPE 1 - WOOD JOIST



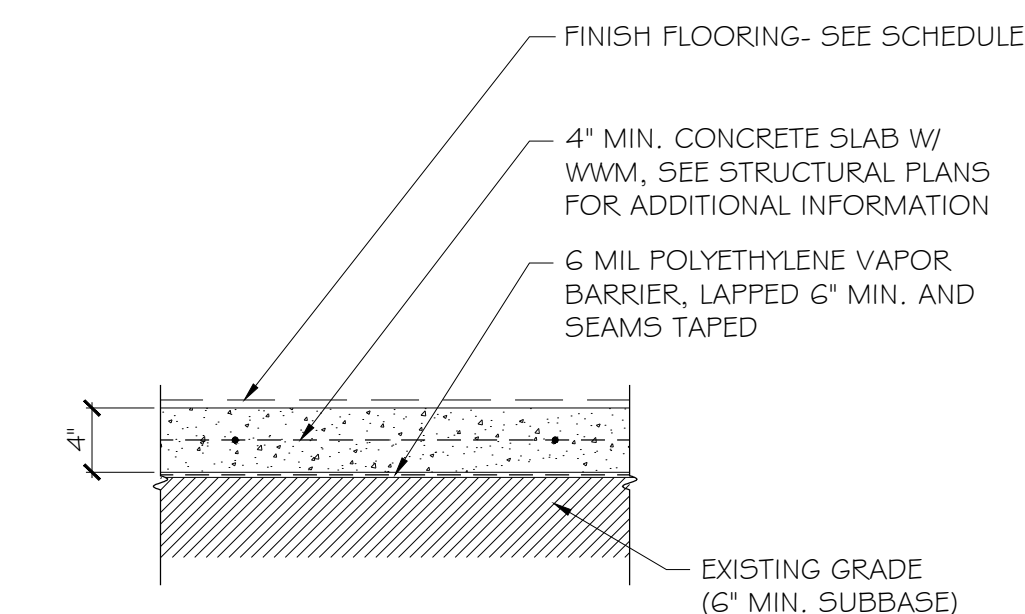
2 WALL TYPE 2- INTERIOR 2X4 WALL



2 FLOOR TYPE 2- WOOD FRAMING



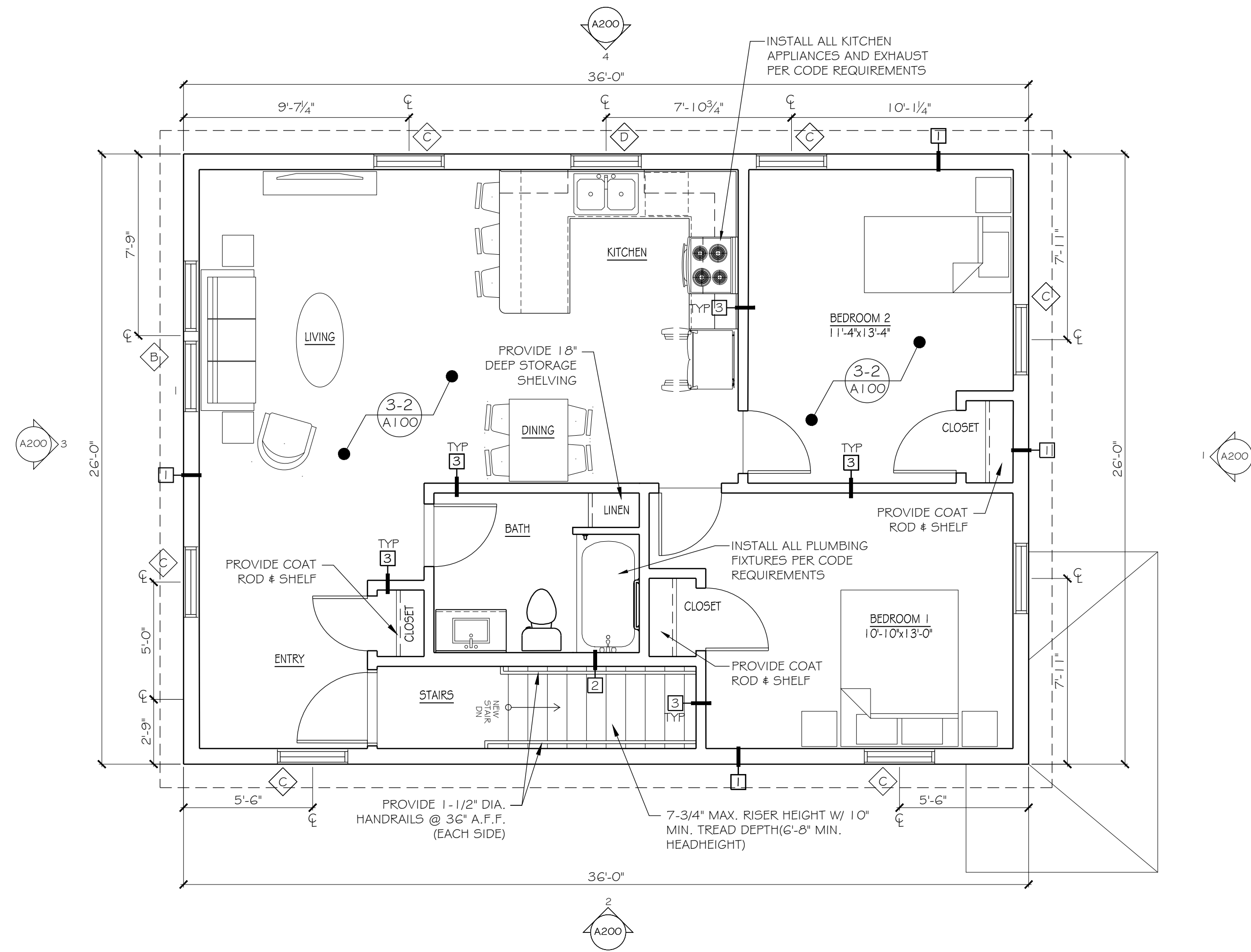
1 WALL TYPE 1 - EXTERIOR WALL



1 FLOOR TYPE 1 - SLAB ON GRADE

GENERAL LIFE SAFETY NOTES:

1. INSTALL ALL LIFE SAFETY FIXTURES PER ALL CODE AND LOCAL AHJ REQUIREMENTS, WITH FIXTURE TYPES AND LOCATIONS COORDINATED WITH OWNER.
2. PROVIDE A FIRE ALARM SYSTEM PER IEBC SECTION 804.4.1.G FOR EXISTING BUILDINGS, COORDINATED WITH OWNER.
3. PROVIDE RECESSED LED OR SURFACE-MOUNTED HEAD LIGHTING TO ILLUMINATE THE MEANS OF EGRESS WITHIN UNIT, PER IEBC SECTION 805.7.1.
4. ALL NEWLY INSTALLED ELECTRICAL EQUIPMENT AND WIRING SHALL COMPLY WITH NFPA 70, PER IEBC SECTION 801.1.
5. ALL ENCLOSED AREAS OTHER THAN CLOSETS, HALLWAYS, LAUNDRY AREAS, BATHROOMS AND KITCHENS SHALL HAVE A MINIMUM OF TWO DUPLEX RECEPTACLE OUTLETS, PER IEBC SECTION 809.3.1.
6. TWO DUPLEX OUTLETS TO BE PROVIDED AT KITCHEN, PER IEBC SECTION 808.3.2.
7. ONE DUPLEX OUTLET TO BE PROVIDED ON SEPARATE CIRCUIT FROM WASHER/DRYER AT LAUNDRY, PER IEBC SECTION 808.3.3.
8. PROVIDE GROUND FAULT INTERRUPTION AS REQUIRED BY NFPA 70 ON NEW ELECTRICAL OUTLETS, PER IEBC SECTION 808.3.4.
9. PROVIDE AT LEAST ONE LIGHTING OUTLET IN THE BATHROOM, HALLWAY, STAIRWAY, AND OUTSIDE ENTRANCE/EXIT, PER IEBC SECTION 808.3.5.
10. PROVIDE EQUIPMENT CLEARANCES AS REQUIRED BY NFPA 70, PER IEBC SECTION 808.3.7.
11. PROVIDE LOCAL EXHAUST FOR ALL NEW EQUIPMENT, AS REQUIRED, PER IEBC SECTION 809.3.
12. PROVIDE EMERGENCY LIGHTING FOR MEANS OF EGRESS PER SECTION 31.2.9 & 7.8.

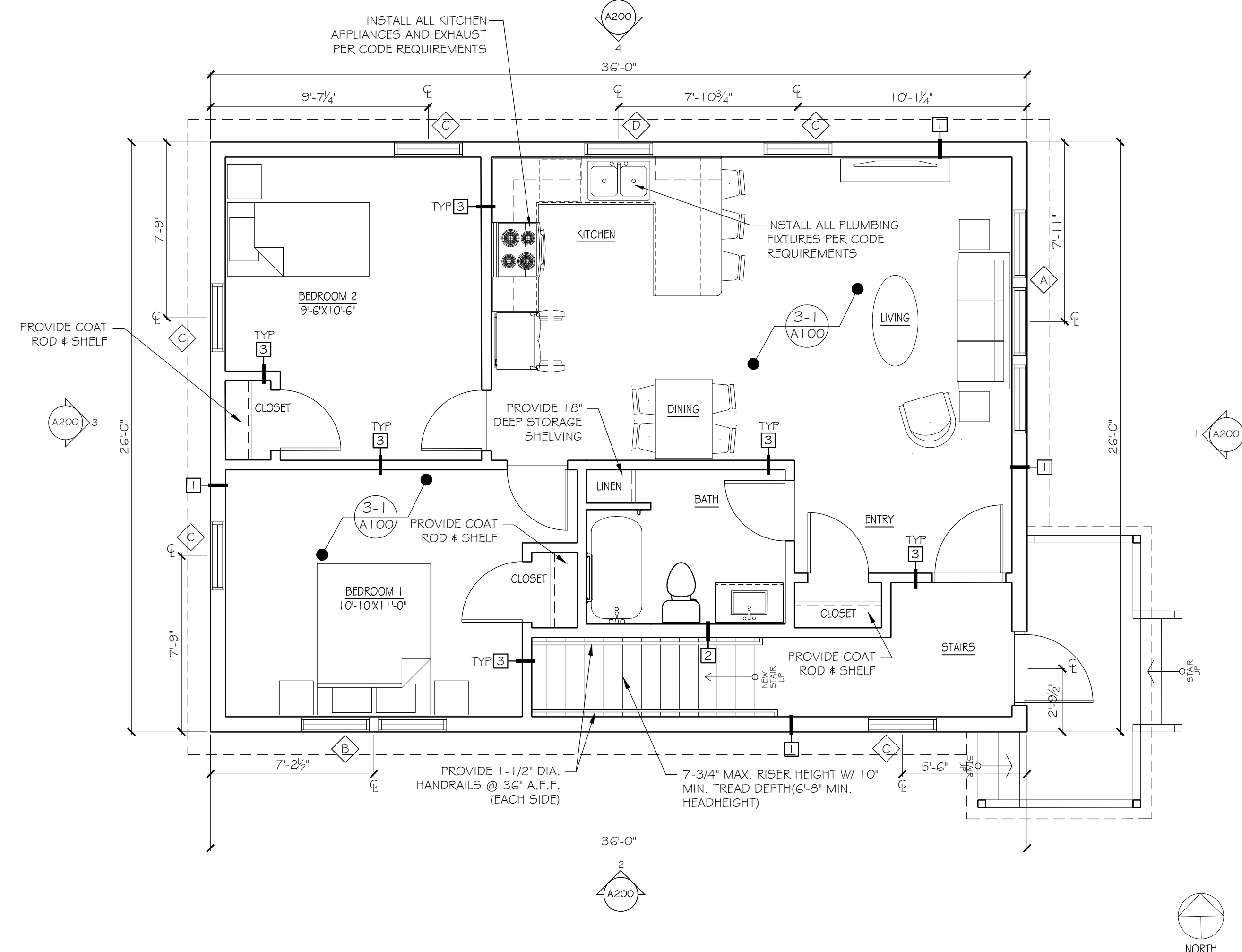


2 SECOND FLOOR PLAN- BUILDING A

SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. THE INTENT OF THE CONTRACT DOCUMENTS IS TO ALLOW FOR THE PERFORMANCE OF THE WORK. EVERY ITEM, NECESSARILY REQUIRED MAY NOT BE SPECIFICALLY MENTIONED OR SHOWN, UNLESS EXPRESSLY STATED, ALL SYSTEMS AND EQUIPMENT SHALL BE COMPLETED AND APPROPRIATELY OPERABLE. FURNISH AND INSTALL ALL SPECIFIED AND APPROPRIATE ITEMS AND ALL INCIDENTAL, ACCESSORY, AND OTHER ITEMS NOT SPECIFIED BUT REQUIRED FOR A COMPLETE AND FINISHED PROJECT.
2. EXECUTE WORK IN ACCORDANCE WITH ANY AND ALL APPLICABLE CODES, MANUFACTURER'S RECOMMENDATIONS AND TRADE REFERENCE STANDARDS.
3. DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS GOVERN.
4. ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY AND FREE OF VIBRATION.
5. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE BUT WITHOUT GUARANTEE OF ACCURACY. FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS. NOTIFY THE ARCHITECT FOR RESOLUTION OF ANY DISCREPANCIES OR CONDITIONS ADVERSELY AFFECTING THE DESIGN PRIOR TO PROCEEDING WITH THE ITEM OF THE WORK AFFECTED.
6. INVESTIGATE AND VERIFY LOCATIONS OF STRUCTURAL, MECHANICAL AND ELECTRICAL ELEMENTS AND OTHER EXISTING CONDITIONS PRIOR TO DRILLING OR CUTTING OF SLABS OR STRUCTURAL MEMBERS. NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO BEGINNING WORK.
7. PRIOR TO CORE DRILLING, COORDINATE THE LOCATION OF EACH CORE DRILL WITH THE EXISTING STRUCTURE, PIPING, CONDUIT, MECHANICAL AND ELECTRICAL ELEMENTS BELOW SLAB. NOTIFY THE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
8. PROVIDE FIRE STOPPING AT ALL PENETRATIONS OF FIRE RATED ELEMENTS TO MATCH THE RATING OF THE ELEMENT.
9. DETAILS ARE GENERALLY NOTED ONLY ONCE. THEY ARE TYPICAL FOR SIMILAR CONDITIONS ELSEWHERE UNO.
10. 'TYPICAL' OR 'TYP' MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS UNO.
11. 'SIMILAR' OR 'SIM' MEANS COMPARABLE CHARACTERISTICS TO THE CONDITION NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLAN.
12. 'VERIFY' OR 'VIP' MEANS TO ASCERTAIN AND CONFIRM APPLICATION WITH APPROPRIATE PARTY AS NOTED.
13. FURNITURE IS FOR REFERENCE ONLY AND IS TO BE FURNISHED AND IS INSTALLED BY OTHERS EXCEPT AS NOTED ON DRAWINGS.
26. ALL WOOD THAT COMES IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
27. SMOKE ALARMS ARE TO BE HARDWIRED AND INSTALLED WITHIN ALL SLEEPING ROOMS, OUTSIDE OF AND IN THE VICINITY OF EACH SLEEPING AREA, ON EACH ADDITIONAL STORY, AND NOT LESS THAN 3 FEET HORIZONTALLY FROM A BATHROOM DOOR CONTAINING A SHOWER OR BATHTUB.
28. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE ALL BEDROOMS AND FUEL APPLIANCE AREAS.
29. A CO2 ALARM SHALL BE INSTALLED IN BEDROOMS OR ATTACHED BATHROOMS WITH FUEL-BURNING APPLIANCE.
30. MAX SILL HEIGHT FOR EGRESS WINDOWS IN UPSTAIRS BEDROOM WINDOWS TO BE 44" A.F.F. PROVIDE TEMPERED GLAZING AT STAIRS.



1 FIRST FLOOR PLAN- BUILDING A

SCALE: 1/4" = 1'-0"

DRAWING ISSUE		
No.	DESCRIPTION	DATE